



**CITY OF EDGEWOOD
PLANNING COMMISSION MEETING AGENDA**

Monday, February 8, 2020 – 6 p.m. • Virtual Meeting conducted via Zoom

(Zoom Meeting ID: 970 6596 9184)

1. Call to Order:

- a. Pledge of Allegiance
- b. Attendance (*by presence, not roll call—unless hearing scheduled*)
 - i. Position 1: Carly Guillory
 - ii. Position 2: JoAnn Overfield
 - iii. Position 3: Vacant
 - iv. Position 4: Sarah Wagner
 - v. Position 5: Jason Ramirez
 - vi. Position 6: Allison Pincas
 - vii. Position 7: Karla Slate

2. Consent Agenda: *All matters listed under Item 2 are considered routine in nature and will be enacted by one motion. Individual discussion of these items is not planned. A member, however, may remove any item to discuss as an item for separate consideration under New Business.*

- a. Agenda Approval or Modifications
- b. Approve Planning Commission Meeting Minutes from January 11, 2021
- c. Review Economic Development Advisory Board Minutes from January 4, 2021
- d. Review of Development Review Report- January 2021

3. Citizen Comment Period: *This portion of the agenda is reserved for the public to comment on items not on the agenda. The Planning Commission may invite additional public comment on agenda items noted for discussion later in the meeting.*

4. Public Hearings: None

5. New Business:

- a. Action Items- None
- b. Discussion Items
 - i. Town Center
 - ii. Development Standards and Public Works Standards
 - iii. Sewer Connection Requirements
 - iv. Street Light Standards
 - v. Tree Preservation Code
 - vi. Sign Code Modification
 - vii. 2021 Work Plan

6. Staff Comments

7. Commissioner Updates

8. Adjourn

These meetings are accessible to persons with disabilities. For individuals who may require special accommodations, please contact City Hall at (253)952-3299, 24 hours in advance.



CITY OF EDGEWOOD

PLANNING COMMISSION MEETING MINUTES

Monday, January 11, 2020 – 6 p.m. • Edgewood City Hall – 2224 104th Ave. E

Meeting Held Virtually via Zoom

1. **CALL TO ORDER:** Chair Overfield called meeting to order at 6:00 PM
 - A. **Commissioners Present:** Guillory; Overfield; Wagner; Pincas; Ramirez; Slate
 - B. **Commissioners Absent:** Position 3 is currently vacant
 - C. **Staff Member(s) Present:** Darren Groth, Community and Economic Development Director
Emily Arteche, Planning Manager
Kristin Moerler, Senior Planner
Evan Hietpas, Planning Technician
 - D. **Others Present:** Councilmember Tomyn
2. **CONSENT AGENDA:** Wagner moved to APPROVE as presented, Slate seconded.
Commission voted 6-0 to approve the Consent Agenda.
3. **CITIZEN COMMENTS:** None
4. **PUBLIC HEARINGS:** None
5. **NEW BUSINESS:**
 - A. **Action Items:** None
 - B. **Discussion Items:**
 - i. Town Center
 - a. Hietpas introduced the agenda item and opened the discussion.
 - b. The Commission and city staff discussed possible actions to promote development that is consistent with the Town Center vision (walkable, dense, cultural “heart”, mixed-use development, etc.)
 - c. The discussion related to the creation of a Comprehensive Plan Subarea Plan for Town Center, and subsequent modifications to the city’s State Environmental Policy Act (SEPA) threshold determination standards.
 - d. The Commission asked city staff to provide more information for discussion at the February 8th meeting, related to: public engagement, implementation strategies, staff time allotted for projects, etc.
 - ii. Street Light Standards
 - a. Hietpas opened discussion on street light standards, related to zoning district compatibility, road classifications, and the City’s Comprehensive Plan goals.
 - b. The Commission discussed the importance of providing appropriate street light standards for various neighborhoods (Single Family vs Meridian Corridor) and road classifications (Arterials, Collectors, and Local/ Private)
 - c. The Commission will discuss street light temperature and shielding standards at the February 8th meeting.

iii. Tree Preservation Code

- a.** Hietpas opened the discussion by outlining the code amendments that are proposed by the Planning Commission and city staff.
- b.** The Commission and city staff discussed the proposed amendments.
- c.** The Commission requested city staff to review the code section to help facilitate a final discussion on the proposed amendments at the February 8th meeting.

iv. Sign Code Modification

- a.** Groth opened the discussion by introducing the importance of the proposed code modifications.
- b.** Discussion ensued. The Commission will discuss potential code modifications at the February 8th meeting.

v. 2021 City-initiated Comprehensive Plan Amendments

- a.** City staff briefed the Commission on the three comprehensive plan amendment applications that were submitted by the city for review in 2021:
 - #20-1663: Historic Comprehensive Plan Amendment Updates
 - #20-1667: Natural Environment Chapter Update
 - #20-1668: Land Use Growth Targets Update

vi. 2021 Work Plan

- a.** Hietpas discussed the formation of the 2021 Work Plan,
- b.** Hietpas asked for input regarding the “Future Agenda Calendar” and “Future Agendas List”, which are intended to help the Commission strategize timelines for individual work plan items. Discussion ensued.

6. STAFF COMMENTS:

- A.** Groth described the Economic Development Advisory Board’s on-going “Edgewood Marketplace” discussion. The goal of this idea is to provide Edgewood businesses an opportunity to participate in collaborative efforts and public events.

7. COMMISSIONER COMMENTS: None

8. ADJOURN: Chair Overfield adjourned meeting at 8:10.



**CITY OF EDGEWOOD
ECONOMIC DEVELOPMENT ADVISORY BOARD (EDAB)
MEETING MINUTES**

Monday, January 5, 2021, 6 p.m. • Virtual Zoom Meeting

Meeting Link: (<https://zoom.us/j/92275379112>)

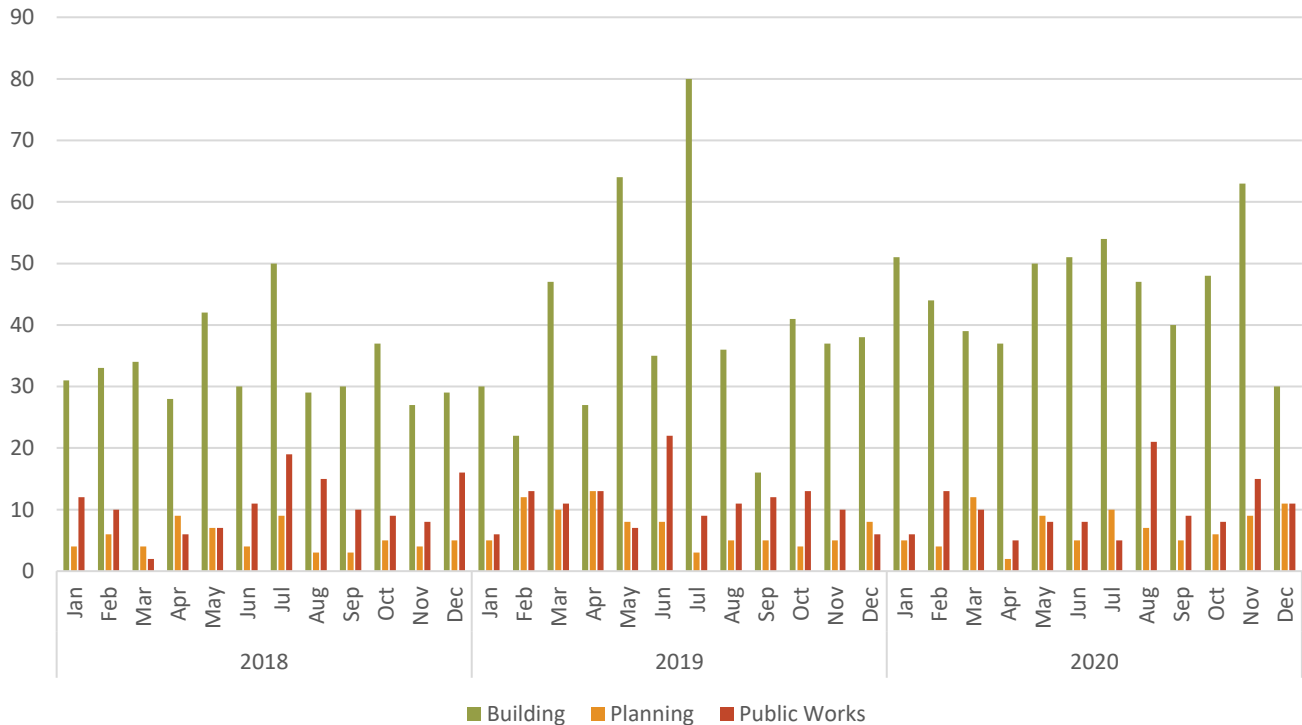
1. **CALL TO ORDER:** Chair Butterfield called the meeting to order at 6:04 p.m.
 - A. **Members Present:** Wiesenfeld; Butterfield; Swanson; Neil
 - B. **Commissioners Absent:** Kilmer; Grasdalen; Position 4 VACANT
 - C. **Staff Member(s) Present:** Darren Groth, CED Director
Emily Arteche, Planning Manager
Evan Hietpas, Planning Technician
 - D. **Others Present:** Mayor Eidinger
Council Member Wise
2. **CONSENT AGENDA**
 - A. **Agenda Approval or Modifications**
 - B. **Approval of Meeting Minutes for December 7, 2020**
 - C. **Review of Planning Commission Minutes for November**
 - i. Wiesenfeld moved to approve, as presented.
 - ii. Neil seconded.
 - iii. The Board voted 4-0 to approve the Consent Agenda.
3. **CITIZEN COMMENT PERIOD:**
 - A. None
4. **NEW BUSINESS**
 - A. **Discussion Item(s)**
 - i. Edgewood Marketplace
 - a. Groth opened and presented the staff report
 - b. Discussion ensued
 - ii. 2020 Work Plan
 - a. No further discussion
 - iii. 2021 Work Plan
 - b. Groth opened, shared a draft plan, and mentioned the process to set the annual work plan
 - c. February 16, 2021 joint meeting with City Council
 - d. Discussion ensued
 - B. **Action Item(s)**
 - i. None
5. **STAFF COMMENTS:** Groth gave an update on food trucks at City Hall
6. **BOARD MEMBER UPDATES:** Chair Butterfield gave an update on the FME Chamber
Wiesenfeld mentioned COVI-19 information on the City website
7. **ADJOURN:** Chair Butterfield adjourned the meeting at 6:48 p.m.

Dec 2020

City of Edgewood Monthly Development Report



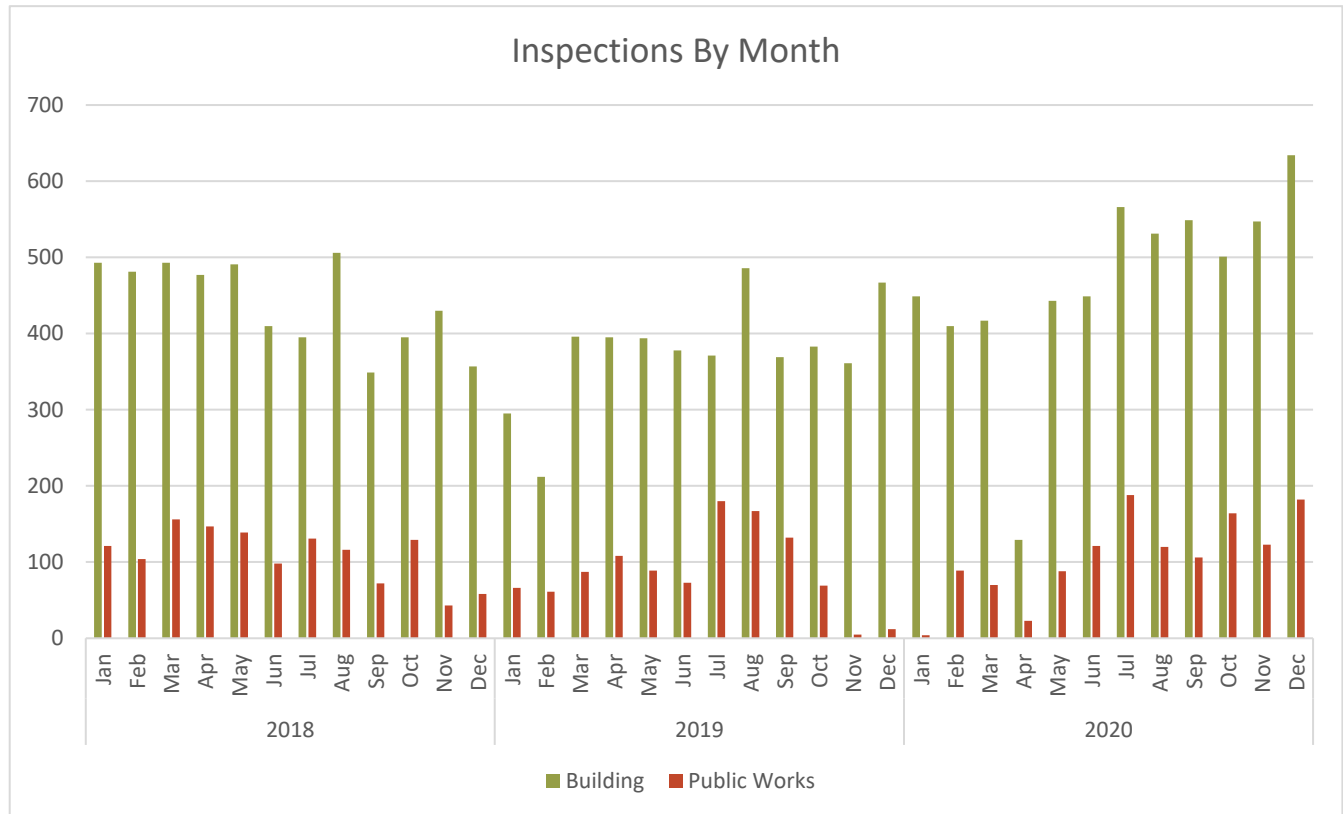
Permits Received by Month



Permits	Building		Planning		Public Works	
	Received	Issued	Received	Issued	Received	Issued
Dec 2020	30	28	11	7	11	4
Dec 2019	38	40	8	4	6	10
Dec 2018	29	23	5	2	16	5
Average 2020	46	33	7	3	10	7
Average 2019	39	38	7	6	11	10
Average 2018	33	32	5	2	10	7
YTD 2020	554	399	85	40	119	88
YTD 2019	473	456	86	66	133	125
YTD 2018	400	389	63	20	125	81
	Building		Planning		Public Works	
	Month	Received	Month	Received	Month	Received
Highest Month 2020	Nov	63	Mar	12	Aug	21
Highest Month 2019	Jul	80	Apr	13	Jun	22
Highest Month 2018	Jul	50	Apr	9	Jul	19

Dec 2020

City of Edgewood Monthly Development Report



<i>Inspections</i>	Building		Public Works	
Dec 2020	634		182	
Dec 2019	467		12	
Dec 2018	357		58	
Average 2020	469		107	
Average 2019	376		87	
Average 2018	440		110	
YTD 2020	5625		1278	
YTD 2019	4507		1049	
YTD 2018	5277		1314	
	Building		Public Works	
	Month	Insp.	Month	Insp.
Highest Month 2020	Dec	634	Jul	188
Highest Month 2019	Aug	486	Jul	180
Highest Month 2018	Aug	506	Mar	156

Land Division Report- January 2021

Preliminary Plat						Site Development	Final Plat		
Start Year	Submitted	Project	Total Lots Proposed	Status	Approved	Status	Status	Recorded Date	Total Lots Recorded
2020	11/12/2020	HUNTINGTON SHORT PLAT	3	APPLICATION		NOT SUBMITTED	NOT SUBMITTED		
	11/6/2020	RUSEV SHORT PLAT	2	APPLICATION		NOT SUBMITTED	NOT SUBMITTED		
	10/26/2020	CONNOLY SHORT PLAT	3	APPLICATION		NOT SUBMITTED	NOT SUBMITTED		
	8/10/2020	TEBALDI SHORT PLAT	2	APPROVED	11/12/2020	N/A	NOT SUBMITTED		
	7/17/2020	PADEN SHORT PLAT	2	APPLICATION		NOT SUBMITTED	NOT SUBMITTED		
	7/13/2020	HARRISON SHORT PLAT	2	APPLICATION		NOT SUBMITTED	NOT SUBMITTED		
	3/18/2020	PHILLIPS RIDGE SUBDIVISION	14	APPROVED	12/29/2020	NOT SUBMITTED	NOT SUBMITTED		
	2/28/2020	DODDS SHORT PLAT	2	APPROVED	9/3/2020	N/A	APPLICATION		
	1/23/2020	SMITH SHORT PLAT	2	APPLICATION		NOT SUBMITTED	NOT SUBMITTED		
2019	11/7/2019	BJERK SHORT PLAT	2	APPROVED	1/14/2020	N/A	APPROVED	11/23/2020	2
	10/18/2019	ESTATES ON CALDWELL SUBDIVISION	6	APPROVED	5/5/2020	ISSUED	NOT SUBMITTED		
	8/28/2019	JENNA ACRES SHORT PLAT	4	APPROVED	9/14/2020	APPLICATION	NOT SUBMITTED		
	4/8/2019	SELLERS SHORT PLAT	2	APPROVED	9/27/2019	NOT SUBMITTED	NOT SUBMITTED		
	3/26/2019	WAGNER SHORT PLAT	3	APPROVED	10/23/2019	APPLICATION	NOT SUBMITTED		
	3/26/2019	RAMSAUR SHORT PLAT	4	APPROVED	6/21/2019	N/A	APPROVED	8/14/2020	4
	3/18/2019	MISENAR SHORT PLAT	2	APPROVED	5/23/2019	N/A	APPROVED	6/14/2019	2
	3/12/2019	BECKER SHORT PLAT	2	APPROVED	7/1/2019	APPLICATION	APPROVED	7/27/2020	2
2018	11/26/2018	BARTH SUBDIVISION	37	APPROVED	6/4/2020	APPLICATION	NOT SUBMITTED		
	10/17/2018	T GARRETT SHORT PLAT	2	APPROVED	3/1/2019	ISSUED	APPROVED	10/4/2019	2
	7/13/2018	MAKSIMCHUK SHORT PLAT	2	APPROVED	1/25/2019	N/A	APPROVED	3/13/2019	2
	6/15/2018	GRUBB SHORT PLAT	3	APPROVED	12/29/2020	NOT SUBMITTED	NOT SUBMITTED		
	4/17/2018	HEART & SOUL SHORT PLAT	4	APPROVED	12/26/2018	FINALED	APPROVED		
	4/17/2018	MICKELSON SUBDIVISION	10	APPROVED	8/25/2020	APPLICATION	NOT SUBMITTED		
	2/15/2018	CHUMAKIN SHORT PLAT	4	APPROVED	6/22/2018	FINALED	APPROVED	5/21/2020	4
	2/8/2018	BEREZNIOV SHORT PLAT	4	APPROVED	1/10/2019	APPLICATION	NOT SUBMITTED		
	1/9/2018	ABEL SHORT PLAT	6	APPROVED	9/13/2018	ISSUED	NOT SUBMITTED		
2017	12/6/2017	CIRILIUM (RESERVE AT HILLCREST) SUBDIVISION	18	APPROVED	8/15/2018	FINALED	APPROVED	3/27/2020	18
	10/11/2017	CHAMBERLIN SHORT PLAT	2	APPROVED	4/26/2018	N/A	APPROVED	7/11/2018	2
	10/10/2017	WOLF POINT SUBDIVISION	56	APPROVED	3/20/2019	APPLICATION	NOT SUBMITTED		
	3/23/2017	YURINA-COLLINS SHORT PLAT	3	APPROVED	10/19/2017	FINALED	APPROVED	3/12/2019	3
	3/22/2017	GAGNON SHORT PLAT	2	APPROVED	11/17/2017	FINALED	APPROVED	7/27/2020	2
2016	11/3/2016	VOLENTE SUBDIVISION	15	APPROVED	6/6/2017	ISSUED	APPROVED	9/11/2020	15
	9/23/2016	DOMUS TOWNHOMES PRD (THE WOODLANDS)	55	APPROVED	1/11/2017	ISSUED	APPROVED	7/11/2018	55
	9/2/2016	EDGEWOOD VIEW ESTATES SUBDIVISION PHASE 2	92	APPROVED	12/14/2017	FINALED	APPROVED	3/25/2020	67
	7/15/2016	PETERSON SHORT PLAT	3	APPROVED	12/10/2016	N/A	APPROVED	12/5/2019	23
	7/13/2016	DAFFODIL FARMS SHORT PLAT	5	APPROVED	3/7/2017	FINALED	APPROVED	1/23/2017	3
	6/3/2016	GERVAIS SHORT PLAT	3	APPROVED	12/22/2016	APPLICATION	APPROVED	5/29/2018	5
	5/12/2016	NORTHWOOD ESTATES WEST SUBDIVISION- PHASE 2	41	APPROVED	10/24/2017	APPLICATION	NOT SUBMITTED		
	4/4/2016	NORTHWOOD ESTATES WEST SUBDIVISION- PHASE 1	13	APPROVED		FINALED	APPROVED	1/25/2018	13
	2/16/2016	PASCOLO ESTATES SUBDIVISION	19	APPROVED	3/21/2017	FINALED	APPROVED	12/18/2019	19
2015	12/10/2015	NICKLAUS (ASTER POINT) SUBDIVISION	38	APPROVED	12/15/2016	NOT SUBMITTED	NOT SUBMITTED		
	11/13/2015	CALDWELL CREST SUBDIVISION	15	APPROVED	6/30/2016	FINALED	APPROVED	6/12/2019	38
	11/12/2015	RAINIER VISTA (RIDGE) SUBDIVISION	13	APPROVED	7/28/2016	FINALED	APPROVED	11/16/2017	15
	11/2/2015	CALIBER SHORT PLAT	6	APPROVED	9/8/2016	FINALED	APPROVED	11/28/2018	13
	7/21/2015	LEPPER SHORT PLAT	3	APPROVED	9/26/2015	FINALED	APPROVED	9/6/2019	
	7/8/2015	EDGEWOOD ESTATES SUBDIVISION	14	APPROVED	9/29/2016	FINALED	APPROVED	3/5/2018	3
	6/24/2015	LARSON SHORT PLAT	4	APPROVED	2/23/2016	ISSUED	APPLICATION		
	2/27/2015	VIEW POINTE SUBDIVISION	44	APPROVED	4/29/2016	FINALED	APPROVED	1/20/2017	4
	1/26/2015	MAPLE GROVE SUBDIVISION	8	APPROVED	9/13/2016	FINALED	APPROVED	8/16/2017	44
	1/23/2015	CURRAN ESTATES SUBDIVISION	9	APPROVED	12/30/2015	FINALED	APPROVED	11/13/2019	8
							APPROVED	6/12/2019	9
2014	10/31/2014	WAMPOLD SHORT PLAT	6	APPROVED	1/15/2015	FINALED	APPROVED	3/15/2017	6
	4/24/2014	FOREST WOOD ESTATES SHORT PLAT	4	APPROVED	7/15/2014	N/A	APPROVED	12/19/2014	4
	4/4/2014	NOLAN SHORT PLAT	2	APPROVED	7/21/2014	FINALED	APPROVED	7/17/2015	2
	1/27/2014	LISITSYN SHORT PLAT	6	APPROVED	7/15/2014	FINALED	APPROVED	7/15/2019	6
2013	6/19/2013	WESTRIDGE SUBDIVISION	360	APPROVED	9/4/2014	FINALED	APPROVED	7/20/2016	284



CITY OF EDGEWOOD STAFF REPORT PLANNING COMMISSION AGENDA ITEM

Date: February 8, 2021

Title: Town Center (TC)

Attachments: 1) Excerpts from City of Sammamish Town Center Plan

Submitted By: Emily Arteche, Planning Manager
Evan Hietpas, Associate Planner

Prior Actions:

- May 26, 2020: City Council adopted the 2020 Work Plan, including the Town Center (TC) item
- September 14, 2020: Planning Commission requested to include TC as a discussion item
- October 12, 2020: an in-depth introduction to the TC discussion was presented
- December 14, 2020: discussion was held on Town Center and BERK's 2020 *Planning and Economic Development Study for the Town Center and Mixed Use Residential Districts*
- January 11, 2021: discussion focused on possible methods to promote development that is consistent with Town Center's vision, including: Subarea plan, State Environmental Policy Act (SEPA) requirements, public-private partnerships, and community engagement efforts.

Background:

Edgewood's Town Center district is considered the "*Heart of Edgewood*," as stated in Goal LU.V of the City's Comprehensive Plan. The City's Vision Statement describes Town Center as our commercial hub and home to a vibrant local economy. This is the area that incorporates pedestrian and bike paths; connecting people and places throughout our community. Town Center will showcase a variety of vertical and horizontal mixed use development, pedestrian-oriented retail, civic uses, and housing; including multifamily, senior and affordable units. Quality planning efforts will be needed to ensure every development supports the Town Center as outlined in the Comprehensive Plan. There are several Comprehensive Plan policies below that identify specific strategies to help implement the "*Heart of Edgewood*" Town Center concept.

- Consider leveraging City-owned property along Meridian Avenue East to catalyze the development of Town Center, (LU.V.b).
- Explore partnerships with developers to support development of unique, community-serving projects such as co-working spaces or a community center. (LU.V.c).
- Support the development of distinctive landmarks within Town Center. (LU.V.d).
- Explore opportunities for public spaces and recreation facilities. (LU.V.h).
- Prioritize investments that support development of Edgewood's Town Center, such as investments that improve transportation systems and public spaces. (LU.V.j).

Discussion:

This agenda item is included to hold a focused discussion on the future development of Edgewood's Town Center. City staff has prepared a detailed outline on the Page 2 to help guide the discussion.

Town Center Discussion- February 8, 2021

1. Vision Establish Town Center as the commercial, mixed use heart of Edgewood. (*City Comprehensive Plan Vision pg. 26-27*)

2. Mission Develop the “Heart of Edgewood” to improve the quality of life for all citizens.

3. Identify steps necessary to accomplish the Mission

Step 1: Public Education and Outreach: Establish relationships with diverse stakeholders.

- Citizens and community organizations
- Economic Development Advisory Board (EDAB)
- Parks and Recreation Advisory Board (PRAB)
- Fife Milton Edgewood (FME) Chamber of Commerce
- City of Milton Planning Commission

Step 2: Review Edgewood Municipal Code (EMC): Review applicable code sections of code highlighted in the BERK Report and in discussions between city staff and the Planning Commission.

- Flexible uses
- Commercial setback allowance
- Floor to Area Ratio (FAR) table
- Multimodal improvements

Step 3: Create Town Center Subarea Plan: Set clear expectations and goals for TC development.

- Public-private partnership opportunities
- Strategy for City Hall/ civic campus
- City-initiated required actions (short, mid, and long-term)
- Target desired uses (library, restaurant, live/work, etc.)
- Develop open space networks
- Connectivity of roads, sidewalks, trails, etc.
- Visual representation of code requirements
- Geographic boundary of Town Center
- Appropriate SEPA thresholds and requirements

4. Various Stakeholder Roles to “make it happen”

Planning Commission’s role

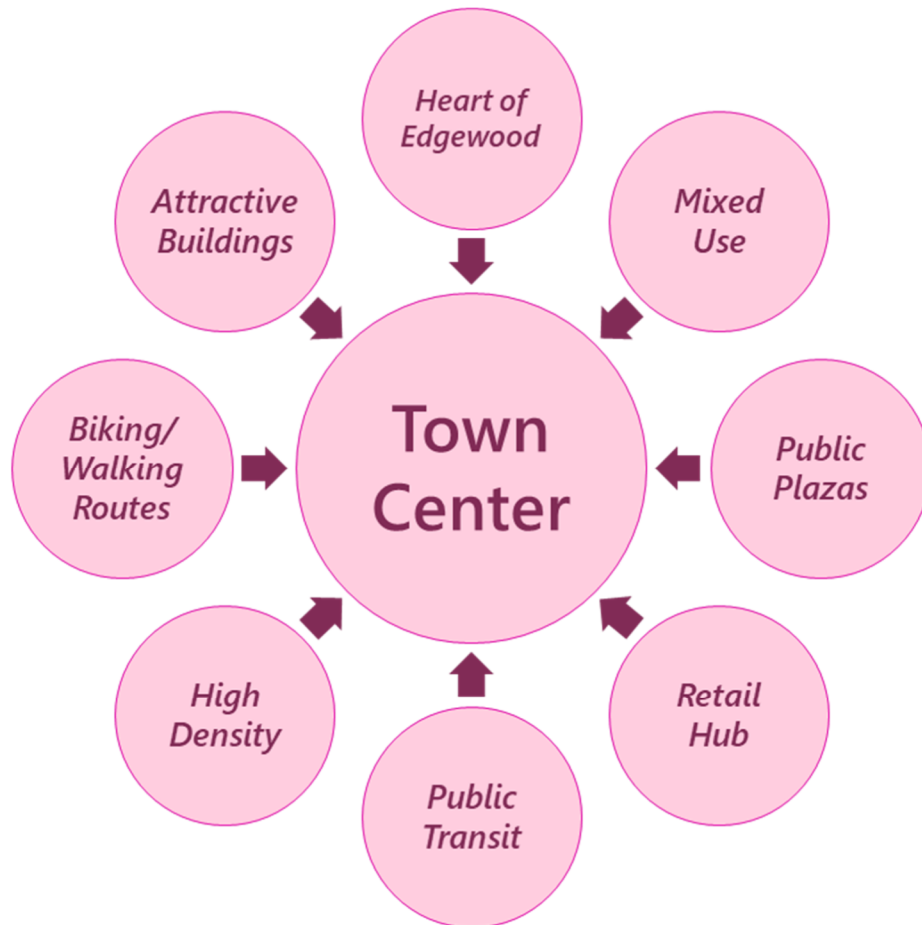
- Determine which methods to pursue (listed above/additional ideas)
- Engage with community members to deliver meaningful feedback
- Formulate questions for public surveys
- Ensure decisions are made through an equity lens

City staff’s role

- Write community magazine articles
- City website and social media updates
- Create ArcGIS Story Map
- Develop 3D modeling documents
- Facilitate collaboration with other City boards and organizations

Recommendation:

Consider possible methods to assist in implementing the Comprehensive Plan strategies and the BERK Report's recommendations. Determine what further information is needed at the March 8, 2021 meeting to adequately discuss this topic. The Planning Commission may choose to provide an initial recommendation to City Council on April 12, 2021 identifying which methods they believe Edgewood should pursue to meet its goal for Town Center.



Town Center Planning Concept

Town Center character derived from architecture combined with a predominance of landscaped and natural open space.

For Edgewood:

1. Identify civic uses
2. Identify recent development
3. Identify desired uses in remaining area

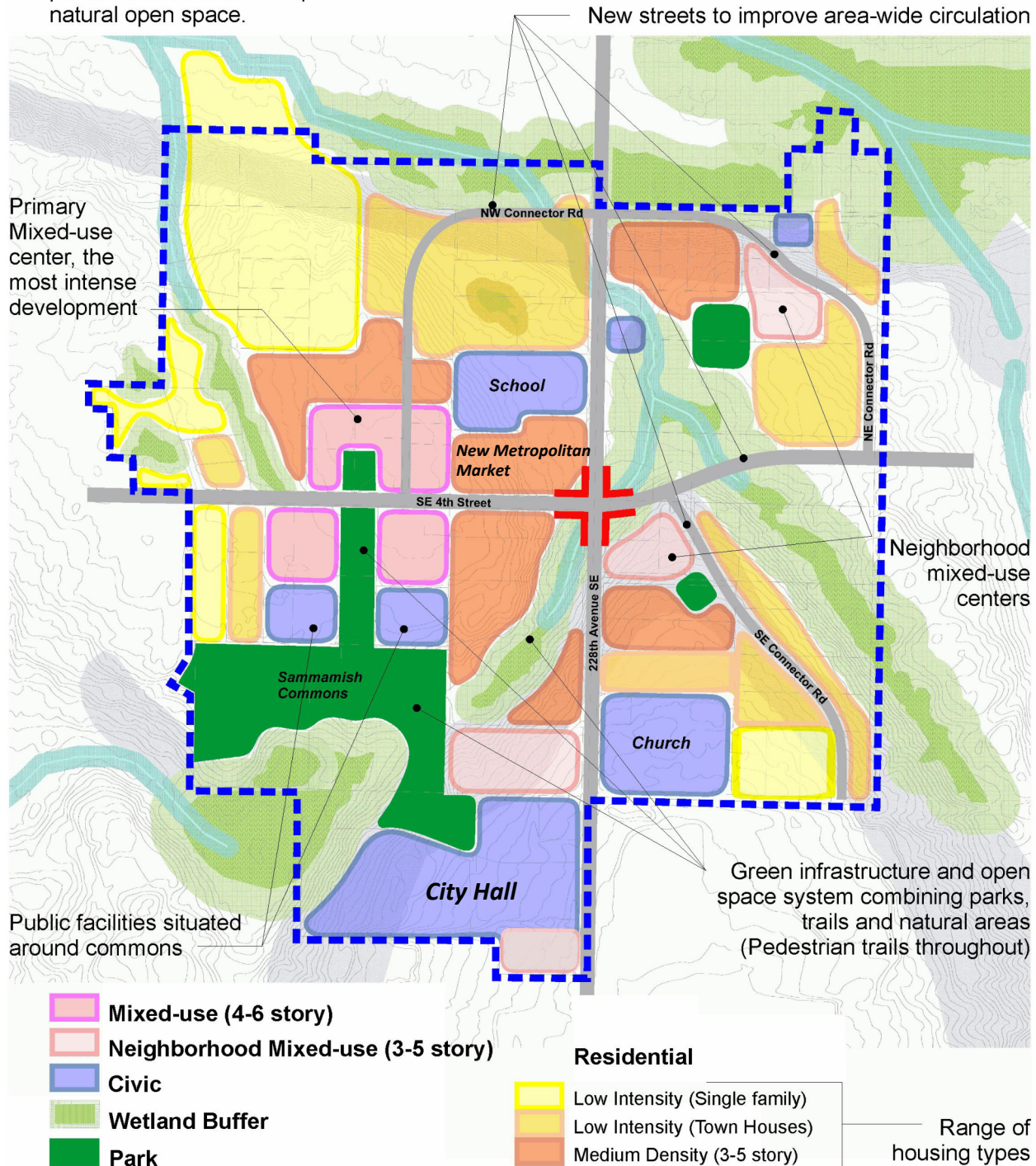


Figure 11. Concept map to be used with the color legend in Figure 12 on opposite page.

Proposed Town Center Use Types

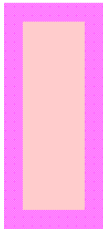
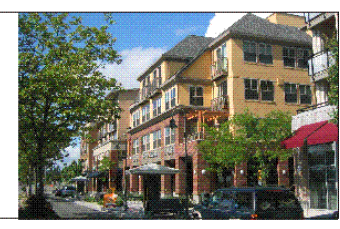
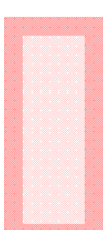
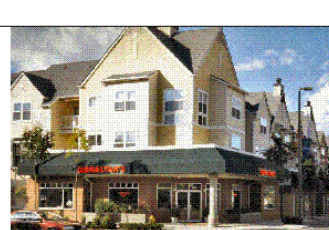
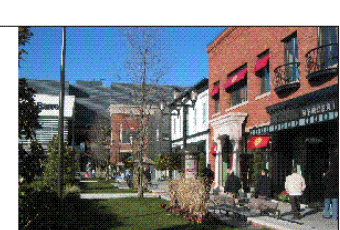
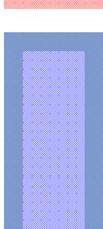
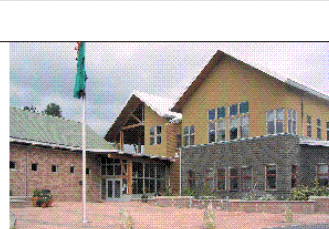
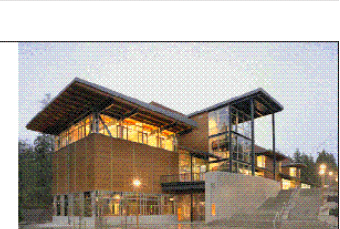
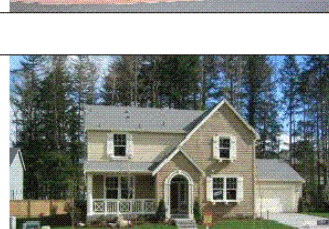
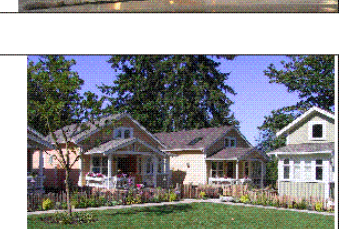
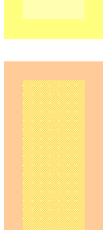
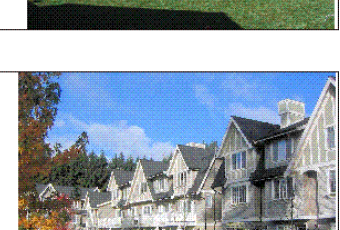
	Medium scale Mixed-Use (4 - 6 story) - Increased density can provide more public amenities - Typically can provide structured parking for residential and retail - Provides "Eyes on Street" for safety - Includes offices		
	Neighborhood Mixed-use (3 - 5 story) - Structured parking for residential - May still need surface parking for retail and office - Upper level residential adds "eyes" on the street and adds to market for retail - Includes offices		
	Civic and Institutional - Public Buildings clustered around Sammamish Commons - Establish a distinctive public building character		
	Low Intensity - Single Family or Cottage Housing - In scale with surrounding uses - Lower density = less available for public open space - Cottage housing = higher density and lower cost than regular single family homes		
	Low Intensity - Town Houses - Higher density & more public amenities than SF - More affordable than SF - Good transitional use between single family and commercial / mixed - use areas		
	Medium Density (3 - 4 Stories) - Higher density = more public amenities and open space - Includes structured parking - Facilitates regional storm water management		

Figure 12. Illustrated legend for the concept map (Figure 11) on the previous page.

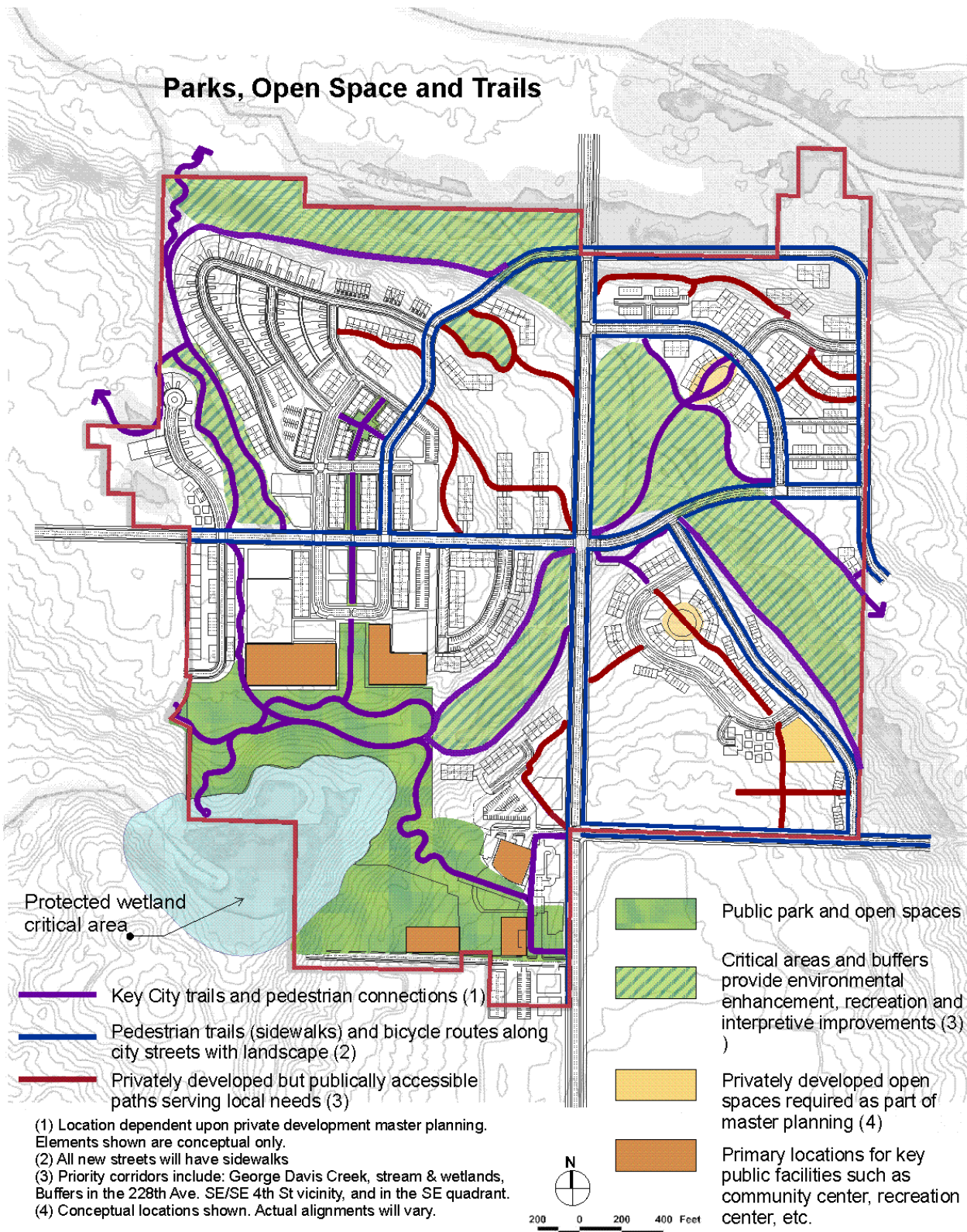


Figure 35. Town Center open space strategy.

III. Concept

the parks, open space and trails recommendations are intimately connected to environmental management and restoration goals. An indication of the efficiency and viability of a plan is the degree to which individual measures address multiple objectives and to which the various elements are inter-related.

Many of the recommendations call for more planning or analytical work. While most subarea plans require further analysis and detailed planning work for their implementation, this plan includes requirements for master planning and design for the mixed-use centers, trail systems, and environmental systems. These are particularly important for successful Town Center redevelopment because of the complexity of and opportunities posed by ecological systems, the constraints imposed by the road network and topography, the configuration of individual land ownership patterns, and the diversity of public facilities desired. Achieving the City's vision will take a sophisticated, strategic approach and sustained, coordinated actions.

For Edgewood:
Use 3D Modeling to represent the build-out of Town Center

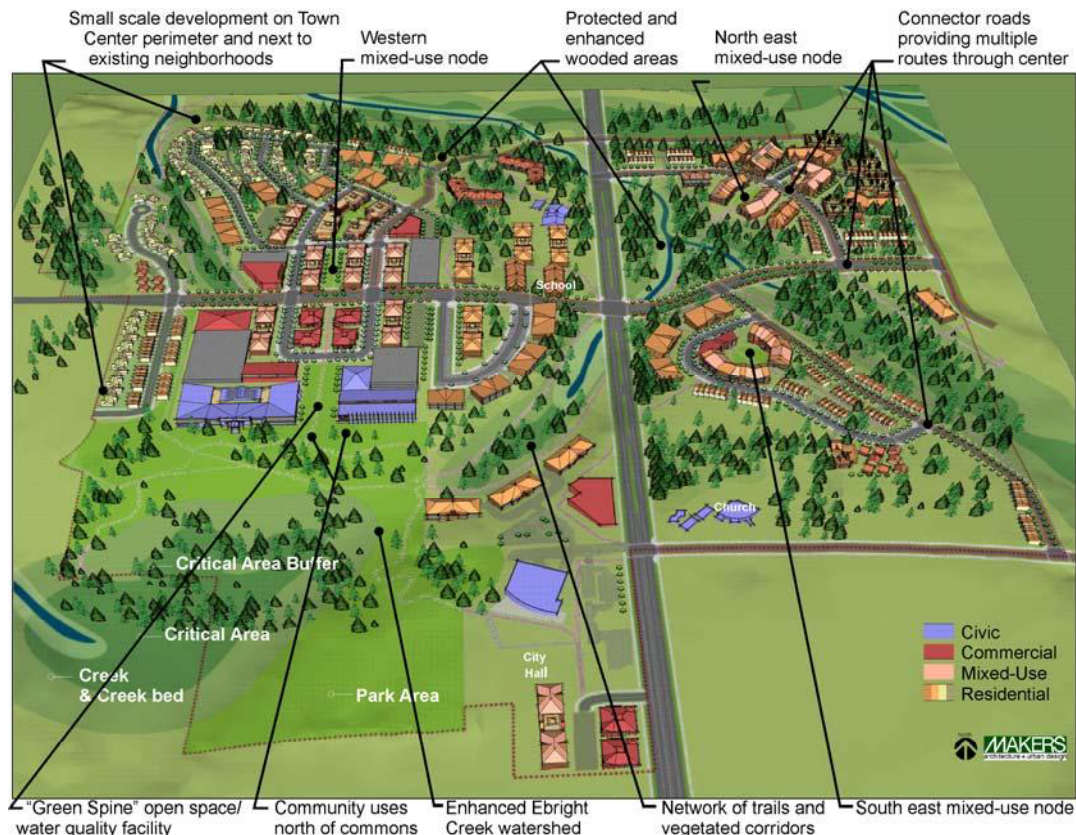
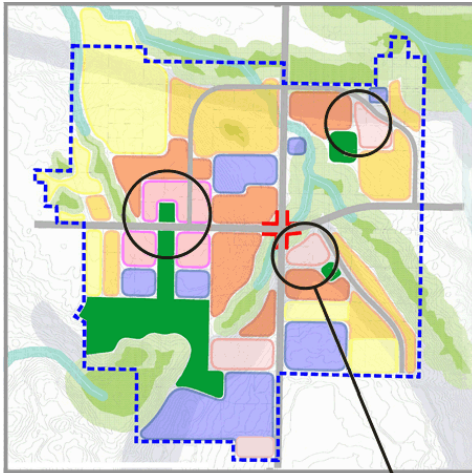


Figure 13. Sammamish Town Center concept visualization (view looking northward).



Town Center Plan organizes the principal elements into a unified whole

Town Center Plan

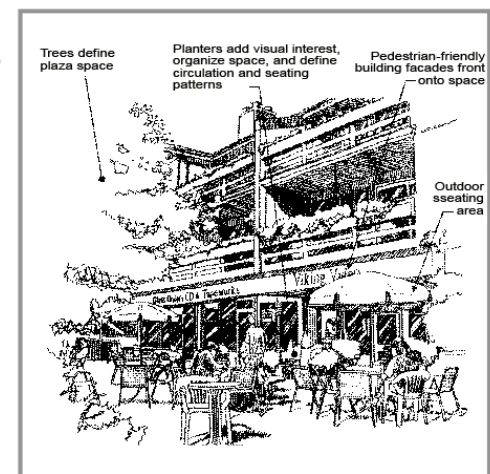


Mixed-use node master plans

Master plans define configuration, uses, circulation and character of mixed-use zones

Design guidelines address individual sites and buildings

For Edgewood:
Create a subarea plan that clearly outlines the desired uses and design of Town Center, consistent with EMC Title 18 design and development standards.



Design guidelines

Figure 57. Design quality will be achieved in the Town Center through an integrated system of subarea planning, mixed-use node master planning, and design guidelines.



CITY OF EDGEWOOD

STAFF REPORT

PLANNING COMMISSION AGENDA ITEM

Date: February 8, 2021

Title: Development Standards and Public Works Standards

Attachments:

- 1) Draft EMC Required Improvement Table
- 2) Draft Edgewood Road Standard Details
- 3) Pierce County Code 17B.20.005

Submitted By: Jeremy Metzler, Public Works Director
Darren Groth, CED Director

Background:

City's Comprehensive Plan

The City's Comprehensive Plan identifies the community's vision for the future. The Plan includes goals and policies that ensure these values are incorporated into the project permit review process. To this end, city staff believes that the City's Public Works Standards should reflect the following policies:

Transportation

- *I:* Develop a safe and efficient street system that accommodates all transportation modes and maximizes people-carrying capacity.
- *III:* Provide clear and identifiable systems of walkways, sidewalks and trails.
 - o Promote connectivity between residential developments
 - o Plan for the expansion of appropriate road shoulders to maintain safe areas for walking, jogging and biking while implementing appropriate design features to discourage increased vehicle speeds.
 - o Accommodate the needs of bicyclists and pedestrians
- *IX:* Develop strategies necessary to improve public streets to meet applicable road standards.

Land Use

- *IX:* Establish a land use pattern that supports physical activity, including biking and walking.

Community Character

- *II:* Provide "Complete Streets" that include amenities to enhance community character.
- *III:* Encourage improvements that enhance neighborhood appearance and pedestrian/ vehicular safety.

Edgewood Municipal Code Title 18: Development Standards

In 2017, a robust code update process for EMC Title 18: Development Standards was completed. The process included participation from City Council, the Planning Commission, city staff, and the public. These efforts ensured that the community's values and preferences were incorporated into the project permit review process for new development.

Public Works Standards

The City's Public Works Department currently uses Pierce County Code (PCC) Public Works Standards, which have been adopted by reference through the Edgewood Municipal Code (EMC). These standards have gone through a formal code review to ensure that they are compatible with the Comprehensive Plan and EMC Title 18. As part of the recent development process improvements, city staff has recognized the importance of adopting local Public Works Standards that are specific to the City of Edgewood.

Discussion:

This item has been included to hold an initial discussion on the City's development standards and the creation of local public works standards. The discussion will be centered on the following topics:

- Consistency with Comprehensive Plan
- Consistency with EMC, especially Title 18
- Identifying appropriate applicability for improvements
 - Development threshold(s);
 - Development type(s); and
 - Right-of-Way Classification
 - Meridian
 - Arterial, collector, local road
 - Multi-modal network
- Code changes needed to:
 - Clarify expectations for new development, including public and private improvements
 - Eliminate irrelevant and/or conflicting information

Recommendation:

This discussion item may lead to formal code amendments including the addition of City of Edgewood Public Works Standards and a recommendation to City Council in the coming months. The Planning Commission may determine if further information is needed in the coming months to adequately address this topic.

Attachment 1

Required Improvement Tables. Table 12.XX.XXX-1 shows what frontage, onsite and offsite street improvements are required for commercial and residential type projects. Additional improvements may also be warranted because of an approved traffic impact analysis, or as required under Chapters 18.90 and 18.95 EMC.

Table 12.XX.XXX-1. Minimum Required Improvements								
Project Types (12)	Commercial					Residential		
	New – Utility (11)	New Commercial (4)(6)	Land Division (3)(4)	Expansion <60% of the building value as calculated in the IBC (4)	Site Development / FPA (7)	Land Division > 2 lots (3)(4)(13)	Land Division < = 2 lots (3)(13)	Single- and Two-Family Dwelling Units
Required Improvements on Public Arterial Frontage Road (1)(2)(9)								
Shoulder (6' min. width)		Yes	Yes			Yes		
Buffer or Bioretention (4' min. width)		Yes	Yes			Yes		
Sidewalk / Walkway (5' min. width)		Yes	Yes			Yes		
Street Trees (5)		Yes	Yes			Yes		
Required Improvements on Public Local Frontage Road (1)(2)(9)								
Sidewalk / Walkway		Yes	Yes			Yes		
Street Trees (5)		Yes	Yes			Yes		
Required On-Site Improvements (9)(10)								
Roads/Shared Access Facilities (13)			Yes			Yes	Yes	
Traffic Curb			Yes			Yes (14)		
Sidewalk			Yes			Yes		
Street Trees (5)			Yes			Yes	(3)	
Street Lights			Yes			Yes		
Connectivity per City Road Standards (13)		Yes	Yes			Yes		
Driveway Approach	Yes	Yes	(8)	Yes	Yes	(8)	(8)	Yes
Required Off-Site Improvements								
Per PCC 17B.20.012 & 17B.20.014								Yes
Per PCC 17B.10.116								Yes
Per PCC 17B.20.030		Yes						
Per PCC 17B.20.040		Yes	Yes	Yes		Yes	Yes	

Per PCC 17B.20.050		Yes	Yes	Yes		Yes		
--------------------	--	-----	-----	-----	--	-----	--	--

Notes:

(1) Requirements for exterior sidewalk and pathway shall be waived by the Department whenever a transportation improvement project providing this infrastructure is included within the City's Six Year Transportation Improvement Program and is fully funded.

(2) Additional frontage and/or offsite improvements may be required as a result of a traffic impact analysis.

(3) Land Division includes all land divisions in conformance with Title 16 EMC.

(4) Traffic study required if more than 25 peak hour trips (PHT) will be generated by the development.

(5) See specific street tree requirements within EMC 18.90.090 G.2, Landscaping - Type II, Streetscapes.

(6) New commercial includes: new commercial building permits; attached single family and multi family; use permits; expansion > 60 percent of the building value as calculated in the IBC. Other commercial uses may also apply.

(7) Forest Practice Application (FPA). Haul route bond may be required.

(8) Driveway approach required for shared access facilities, alley access and any lot proposed to have direct access to an existing public or private road.

(9) Reference the Manual on Design Guidelines and Specifications for Road and Bridge Construction in Pierce County.

(10) Legal and physical access must be provided to each proposed lot utilizing an appropriate city road or shared access standard.

(11) Cell towers, water tank, and other utilities that require a building permit, but generate less than one ADT.

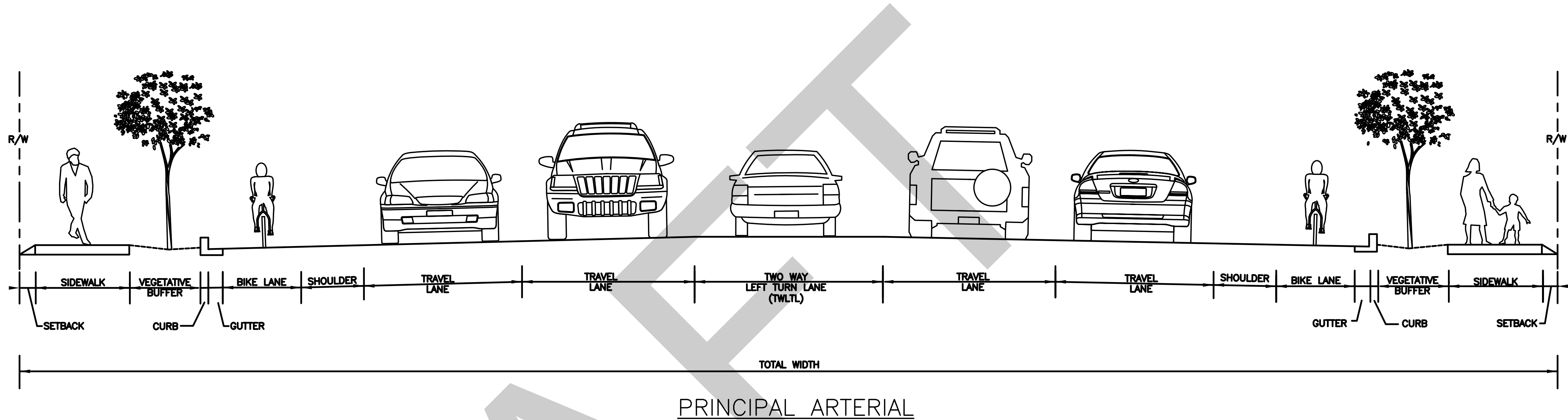
(12) See also the City's adopted stormwater manual (EMC 13.05).

(13) Shared access facilities carry a maximum of 60 ADT. When shared access facilities are allowed, sidewalks, road connectivity, and sidewalk connectivity are not required.

(14) When the length of full height traffic curbing is reduced to short segments due to driveway spacing, rolled curbing may be used with prior City approval.

NOTES:

- 1. DESIGN SPEED: 40 MPH
- 2. PERVIOUS PAVEMENT SHOULD BE CONSIDERED FOR USE ON ALL SIDEWALKS.
- 3. 5-FOOT WIDE BICYCLE LANES TO BE CONSTRUCTED ON ROADWAYS WITH RECREATIONAL TRAIL ROUTES AS IDENTIFIED IN THE CITY OF EDGEWOOD TRAILS PLAN.
- 4. LANDSCAPED BUFFERS MAY BE REPLACED WITH RAIN GARDENS WHEN PERMITTED BY DRAINAGE CONDITIONS.
- 5. ALL FACILITIES SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEES' SPECIAL REPORT: ACCESSIBLE PUBLIC RIGHTS-OF-WAY PLANNING AND DESIGNING FOR ALTERATIONS, DATED JULY 2007.



DESCRIPTION	SETBACK	SIDEWALK	VEGETATIVE BUFFER (MIN.)	CURB	GUTTER	BIKE LANE	SHOULDER	TRAVEL LANE	TRAVEL LANE	TWLTL	TRAVEL LANE	TRAVEL LANE	SHOULDER	BIKE LANE	GUTTER	CURB	VEGETATIVE BUFFER (MIN.)	SIDEWALK	SETBACK	TOTAL WIDTH
5 LANE, NO BIKE LANES	1	10	4	0.5	1	0	4	11	11	12	11	11	4	0	1	0.5	4	10	1	97
5 LANE, WITH BIKE LANES	1	6	4	0.5	1	5	0	11	11	12	11	11	0	5	1	0.5	4	6	1	91
3 LANE, NO BIKE LANES	1	10	4	0.5	1	0	4	11	0	12	0	11	4	0	1	0.5	4	10	1	75
3 LANE, WITH BIKE LANES	1	6	4	0.5	1	5	0	11	0	12	0	11	0	5	1	0.5	4	6	1	69



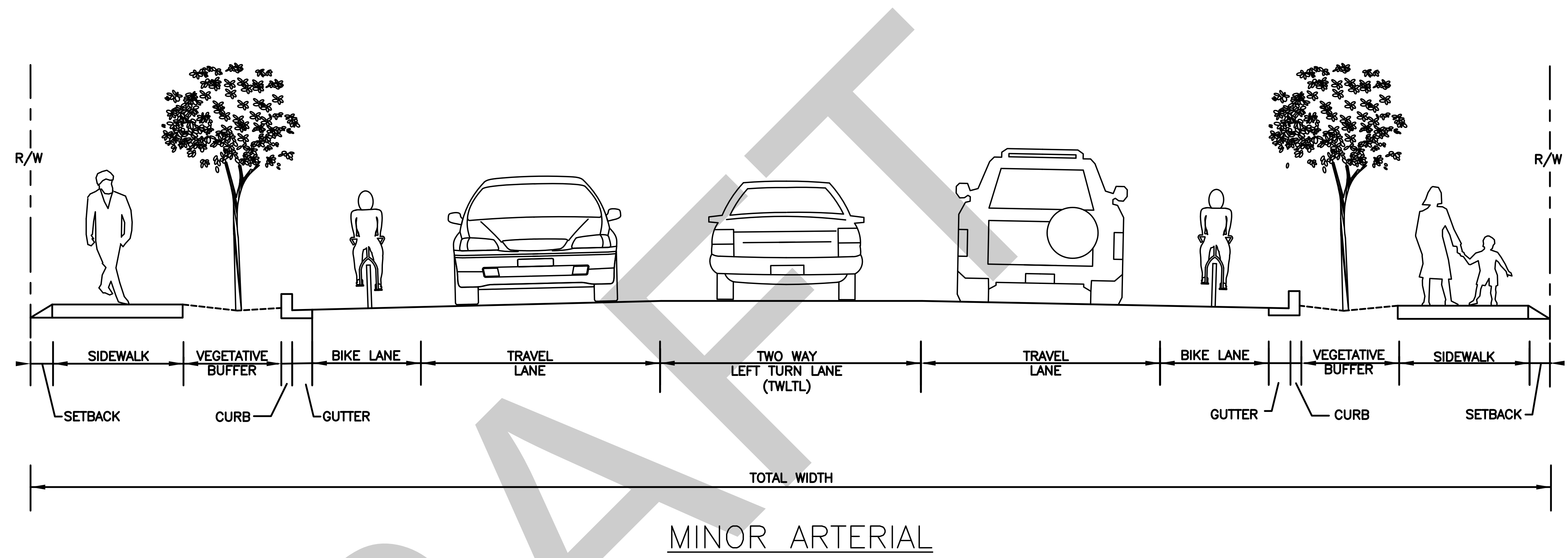
City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372

Principal Arterial
Typical Section

Standard Detail:	A1
Scale:	Not to Scale
Date:	November 2014

NOTES:

- 1. DESIGN SPEED: 35 MPH
- 2. PERVIOUS PAVEMENT SHOULD BE CONSIDERED FOR USE ON ALL SIDEWALKS.
- 3. 5-FOOT WIDE BICYCLE LANES TO BE CONSTRUCTED ON ROADWAYS WITH RECREATIONAL TRAIL ROUTES AS IDENTIFIED IN THE CITY OF EDGEWOOD TRAILS PLAN.
- 4. LANDSCAPED BUFFERS MAY BE REPLACED WITH RAIN GARDENS WHEN PERMITTED BY DRAINAGE CONDITIONS.
- 5. ALL FACILITIES SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEES' SPECIAL REPORT: ACCESSIBLE PUBLIC RIGHTS-OF-WAY PLANNING AND DESIGNING FOR ALTERATIONS, DATED JULY 2007.



DESCRIPTION	SETBACK	SIDEWALK	VEGETATIVE BUFFER (MIN.)	CURB	GUTTER	BIKE LANE	TRAVEL LANE	TWLTL	TRAVEL LANE	BIKE LANE	GUTTER	CURB	VEGETATIVE BUFFER (MIN.)	SIDEWALK	SETBACK	TOTAL WIDTH
2 LANE (NO BIKE LANES)	1	6	4	0.5	1	0	13	0	13	0	1	0.5	4	6	1	51
2 LANE (WITH BIKE LANES)	1	5	4	0.5	1	5	11	0	11	5	1	0.5	4	5	1	55
3 LANE (NO BIKE LANE)	1	6	4	0.5	1	0	11	12	11	0	1	0.5	4	6	1	59



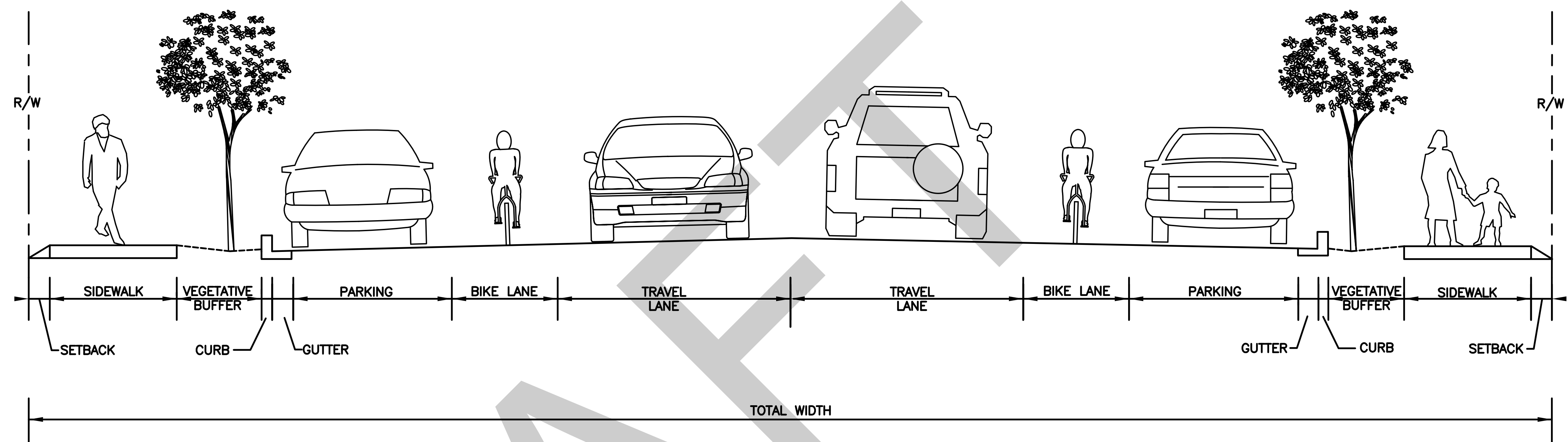
City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372

Minor Arterial
Typical Section

Standard Detail:	A2
Scale:	Not to Scale
Date:	November 2014

NOTES:

- 1. DESIGN SPEED: 30 MPH
- 2. PERVIOUS PAVEMENT SHOULD BE CONSIDERED FOR USE ON ALL SIDEWALKS.
- 3. 5-FOOT WIDE BICYCLE LANES TO BE CONSTRUCTED ON ROADWAYS WITH RECREATIONAL TRAIL ROUTES AS IDENTIFIED IN THE CITY OF EDGEWOOD TRAILS PLAN.
- 4. LANDSCAPED BUFFERS MAY BE REPLACED WITH RAIN GARDENS WHEN PERMITTED BY DRAINAGE CONDITIONS.
- 5. ALL FACILITIES SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEES' SPECIAL REPORT: ACCESSIBLE PUBLIC RIGHTS-OF-WAY PLANNING AND DESIGNING FOR ALTERATIONS, DATED JULY 2007.



COMMERCIAL COLLECTOR SECTION

DESCRIPTION	SETBACK	SIDEWALK	VEGETATIVE BUFFER (MIN.)	CURB	GUTTER	PARKING	BIKE LANE	TRAVEL LANE	TRAVEL LANE	BIKE LANE	PARKING	GUTTER	CURB	VEGETATIVE BUFFER (MIN.)	SIDEWALK	SETBACK	TOTAL WIDTH
PARKING (BOTH SIDES), NO BIKE LANES	1	6	4	0.5	1	8	0	13	13	0	8	1	0.5	4	6	1	67
PARKING (ONE SIDE), NO BIKE LANES	1	6	4	0.5	1	0	0	13	13	0	8	1	0.5	4	6	1	59
PARKING (BOTH SIDES), BIKE LANES	1	5	4	0.5	1	8	5	11	11	5	8	1	0.5	4	5	1	71
PARKING (ONE SIDE), BIKE LANES	1	5	4	0.5	1	0	5	11	11	5	8	1	0.5	4	5	1	63



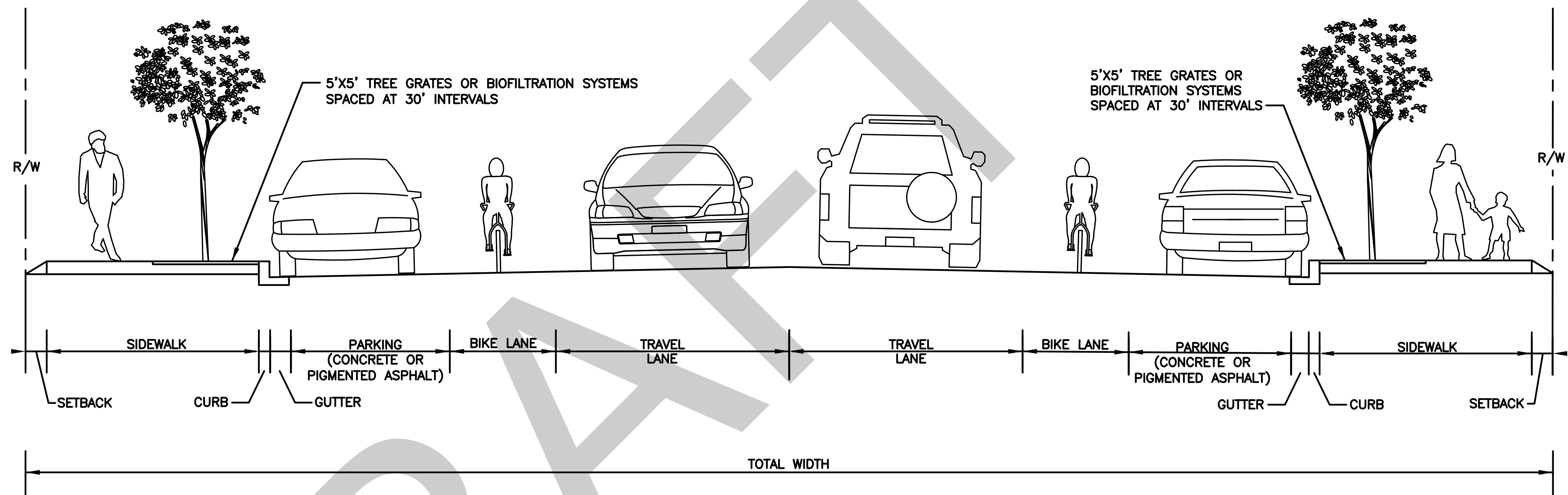
City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372

Commercial Collector
Typical Section

Standard Detail:	A3
Scale:	Not to Scale
Date:	November 2014

NOTES:

- 1. DESIGN SPEED: 30 MPH
- 2. PERVIOUS PAVEMENT SHOULD BE CONSIDERED FOR USE ON ALL SIDEWALKS.
- 3. 5-FOOT WIDE BICYCLE LANES TO BE CONSTRUCTED ON ROADWAYS WITH RECREATIONAL TRAIL ROUTES AS IDENTIFIED IN THE CITY OF EDGEWOOD TRAILS PLAN.
- 4. LANDSCAPED BUFFERS MAY BE REPLACED WITH RAIN GARDENS WHEN PERMITTED BY DRAINAGE CONDITIONS.
- 5. ALL FACILITIES SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEES' SPECIAL REPORT: ACCESSIBLE PUBLIC RIGHTS-OF-WAY PLANNING AND DESIGNING FOR ALTERATIONS, DATED JULY 2007.



TOWN CENTER COLLECTOR SECTION

DESCRIPTION	SETBACK	PUBLIC SIDEWALK, DRAINAGE, UTILITY EASEMENT	CURB	GUTTER	PARKING	BIKE LANE	TRAVEL LANE	TRAVEL LANE	BIKE LANE	PARKING	GUTTER	CURB	PUBLIC SIDEWALK, DRAINAGE, UTILITY EASEMENT	SETBACK	TOTAL WIDTH
PARKING (BOTH SIDES), NO BIKE LANES	1	10	0.5	1	8	0	13	13	0	8	1	0.5	10	1	67
PARKING (BOTH SIDES), BIKE LANES	1	10	0.5	1	8	5	11	11	5	8	1	0.5	10	1	73



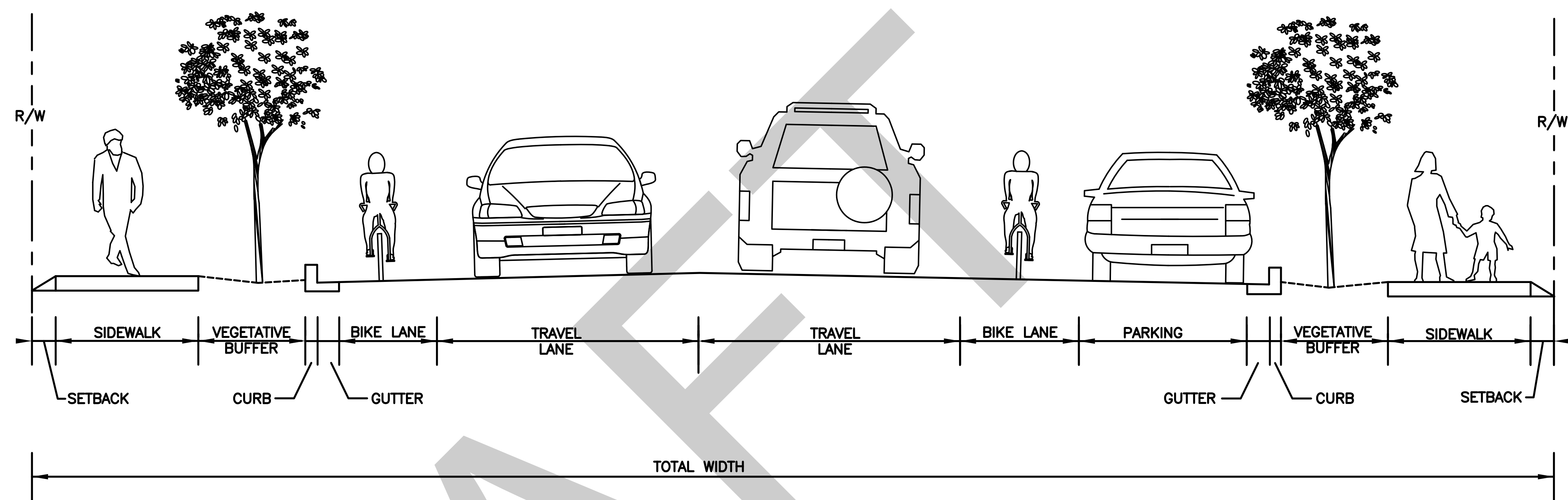
City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372

Town Center Collector
Typical Section

Standard Detail:	A4
Scale:	Not to Scale
Date:	November 2014

NOTES:

- 1. DESIGN SPEED: 30 MPH
- 2. PERVIOUS PAVEMENT SHOULD BE CONSIDERED FOR USE ON ALL SIDEWALKS.
- 3. 5-FOOT WIDE BICYCLE LANES TO BE CONSTRUCTED ON ROADWAYS WITH RECREATIONAL TRAIL ROUTES AS IDENTIFIED IN THE CITY OF EDGEWOOD TRAILS PLAN.
- 4. LANDSCAPED BUFFERS MAY BE REPLACED WITH RAIN GARDENS WHEN PERMITTED BY DRAINAGE CONDITIONS.
- 5. ALL FACILITIES SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEES' SPECIAL REPORT: ACCESSIBLE PUBLIC RIGHTS-OF-WAY PLANNING AND DESIGNING FOR ALTERATIONS, DATED JULY 2007.



NEIGHBORHOOD COLLECTOR SECTION

	SETBACK	SIDEWALK	VEGETATIVE BUFFER (MIN.)	CURB	GUTTER	PARKING	BIKE LANE	TRAVEL LANE	TRAVEL LANE	BIKE LANE	PARKING	GUTTER	CURB	VEGETATIVE BUFFER (MIN.)	SIDEWALK	SETBACK	TOTAL WIDTH
PARKING (ONE SIDE), NO BIKE LANES	0.5	5	3	0.5	1	0	0	11	11	0	8	1	0.5	3	5	0.5	50
NO PARKING, NO BIKE LANES	1	5	4	0.5	1	0	0	11	11	0	0	1	0.5	4	5	1	45
NO PARKING, WITH BIKE LANES	0.5	5	2	0.5	1	0	5	11	11	5	0	1	0.5	2	5	0.5	50



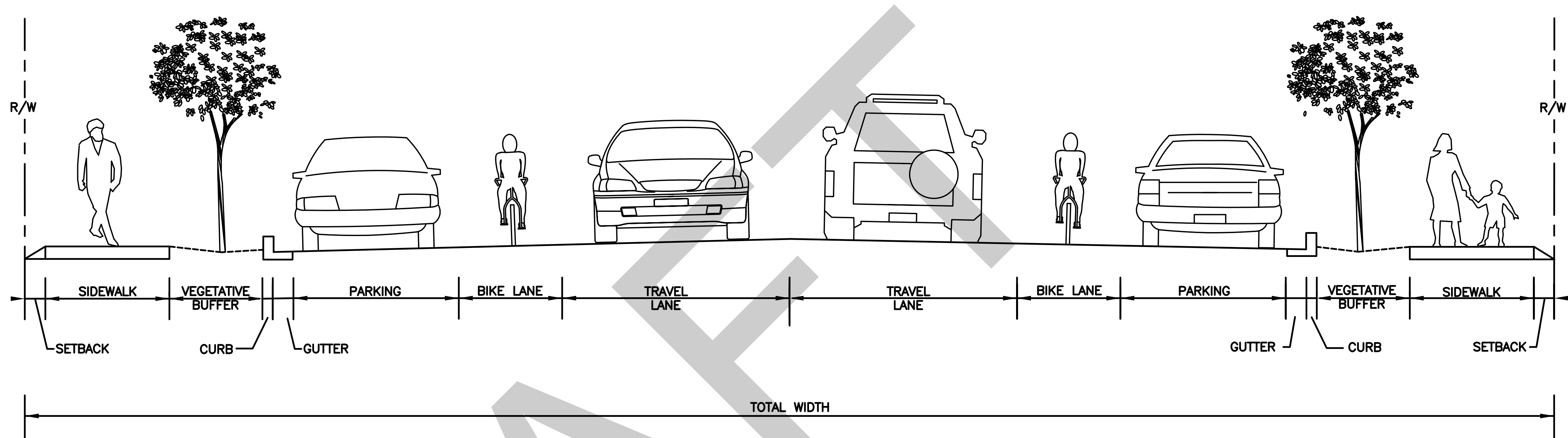
City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372

Neighborhood Collector
Typical Section

Standard Detail:	A5
Scale:	Not to Scale
Date:	November 2014

NOTES:

- 1. DESIGN SPEED: 20 MPH
- 2. PERVIOUS PAVEMENT SHOULD BE CONSIDERED FOR USE ON ALL SIDEWALKS.
- 3. 5-FOOT WIDE BICYCLE LANES TO BE CONSTRUCTED ON ROADWAYS WITH RECREATIONAL TRAIL ROUTES AS IDENTIFIED IN THE CITY OF EDGEWOOD TRAILS PLAN.
- 4. LANDSCAPED BUFFERS MAY BE REPLACED WITH RAIN GARDENS WHEN PERMITTED BY DRAINAGE CONDITIONS.
- 5. ALL FACILITIES SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEES' SPECIAL REPORT: ACCESSIBLE PUBLIC RIGHTS-OF-WAY PLANNING AND DESIGNING FOR ALTERATIONS, DATED JULY 2007.
- 6. THE CITY OF EDGEWOOD MAY MODIFY SIDEWALK REQUIREMENTS AT THEIR DISCRETION.



LOCAL STREET – CURBED

	SETBACK	SIDEWALK	VEGETATIVE BUFFER (MIN.)	CURB	GUTTER	PARKING	BIKE LANE	TRAVEL LANE (MIN.)	TRAVEL LANE (MIN.)	BIKE LANE	PARKING	GUTTER	CURB	VEGETATIVE BUFFER (MIN.)	SIDEWALK	SETBACK	TOTAL WIDTH
NO PARKING, NO BIKE LANES	1	5	4	0.5	1	0	0	10	10	0	0	1	0.5	4	5	1	43
PARKING (BOTH SIDES), NO BIKE LANES	1	5	4	0.5	1	8	0	10	10	0	8	1	0.5	4	5	1	59
PARKING (ONE SIDE), NO BIKE LANES	1	5	4	0.5	1	0	0	10	10	0	8	1	0.5	4	5	1	51
BIKE LANES, NO PARKING	1	5	4	0.5	1	0	5	10	10	5	0	1	0.5	4	5	1	53
PARKING (BOTH SIDES), BIKE LANES	1	5	4	0.5	1	8	5	10	10	5	8	1	0.5	4	5	1	69
PARKING (ONE SIDE), BIKE LANES	1	5	4	0.5	1	0	5	10	10	5	8	1	0.5	4	5	1	61



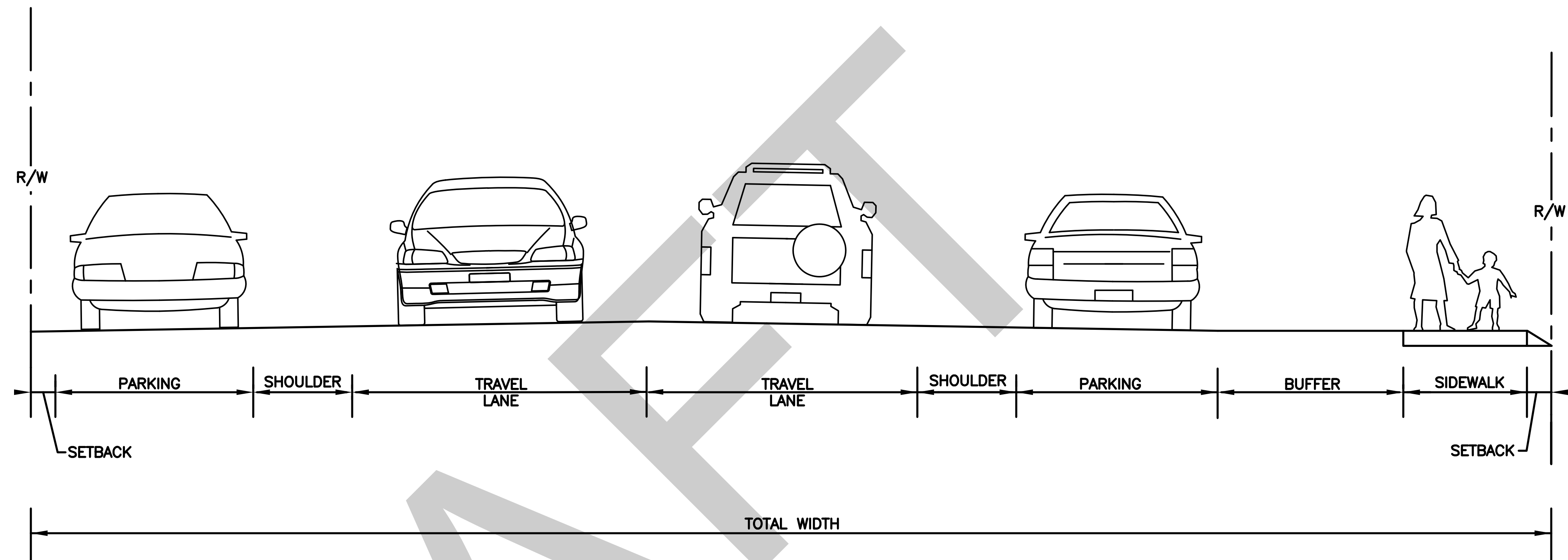
City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372

Local Street - Curbed
Typical Section

Standard Detail:	A6
Scale:	Not to Scale
Date:	November 2014

NOTES:

- 1. DESIGN SPEED: 20 MPH
- 2. PERVIOUS PAVEMENT SHOULD BE CONSIDERED FOR USE ON ALL SIDEWALKS.
- 3. 5-FOOT WIDE BICYCLE LANES TO BE CONSTRUCTED ON ROADWAYS WITH RECREATIONAL TRAIL ROUTES AS IDENTIFIED IN THE CITY OF EDGEWOOD TRAILS PLAN.
- 4. LANDSCAPED BUFFERS MAY BE REPLACED WITH RAIN GARDENS WHEN PERMITTED BY DRAINAGE CONDITIONS.
- 5. ALL FACILITIES SHALL BE CONSTRUCTED IN FULL COMPLIANCE WITH THE PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEES' SPECIAL REPORT: ACCESSIBLE PUBLIC RIGHTS-OF-WAY PLANNING AND DESIGNING FOR ALTERATIONS, DATED JULY 2007.
- 6. THE CITY OF EDGEWOOD MAY MODIFY SIDEWALK REQUIREMENTS AT THEIR DISCRETION.



LOCAL STREET – UN-CURBED

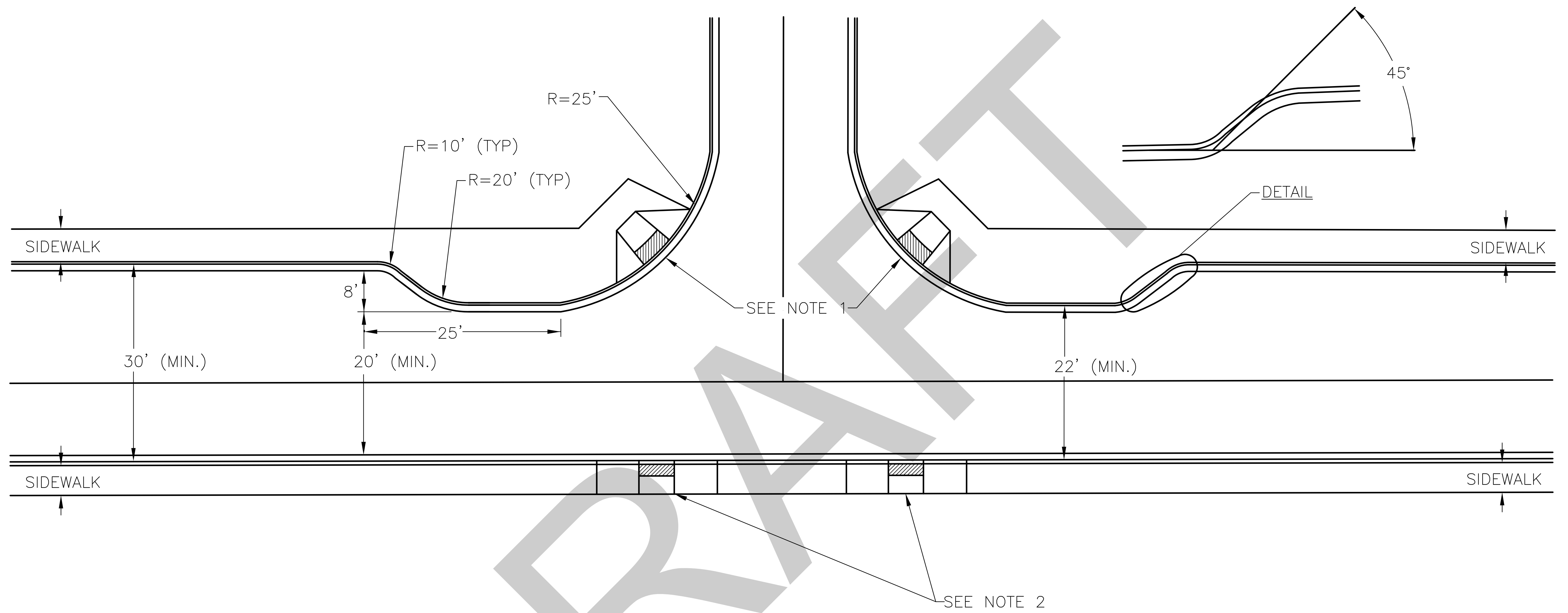
	SETBACK	SIDEWALK	BUFFER (MIN.)	PARKING	SHOULDER	TRAVEL LANE	TRAVEL LANE	SHOULDER	PARKING	BUFFER (MIN.)	SIDEWALK	SETBACK	TOTAL WIDTH
SIDEWALK (ONE SIDE), NO PARKING	1	0	0	0	6	10	10	6	0	5	5	1	44
SIDEWALK (ONE SIDE), PARKING (BOTH SIDES)	1	0	0	8	0	10	10	0	8	5	5	1	48
SIDEWALK (ONE SIDE) PARKING (ONE SIDE)	1	0	0	0	6	10	10	0	8	5	5	1	46
NO SIDEWALK	1	0	0	0	6	10	10	0	8	0	0	1	36



City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372

Local Street - Un-Curbed
Typical Section

Standard Detail:	A7
Scale:	Not to Scale
Date:	November 2014



NOTES:

- 1) SEE STANDARD DRAWING D4 FOR CEMENT CONCRETE CURB RAMP TYPE 1 DETAILS.
- 2) SEE STANDARD DRAWING D4 FOR CEMENT CONCRETE CURB RAMP TYPE 2 DETAILS.
- 3) SEE STANDARD DRAWING D1 FOR CEMENT CONCRETE SIDEWALK DETAILS.
- 4) SEE STANDARD DRAWING A6 FOR LOCAL ROAD TYPICAL SECTION DETAILS.



*City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372*

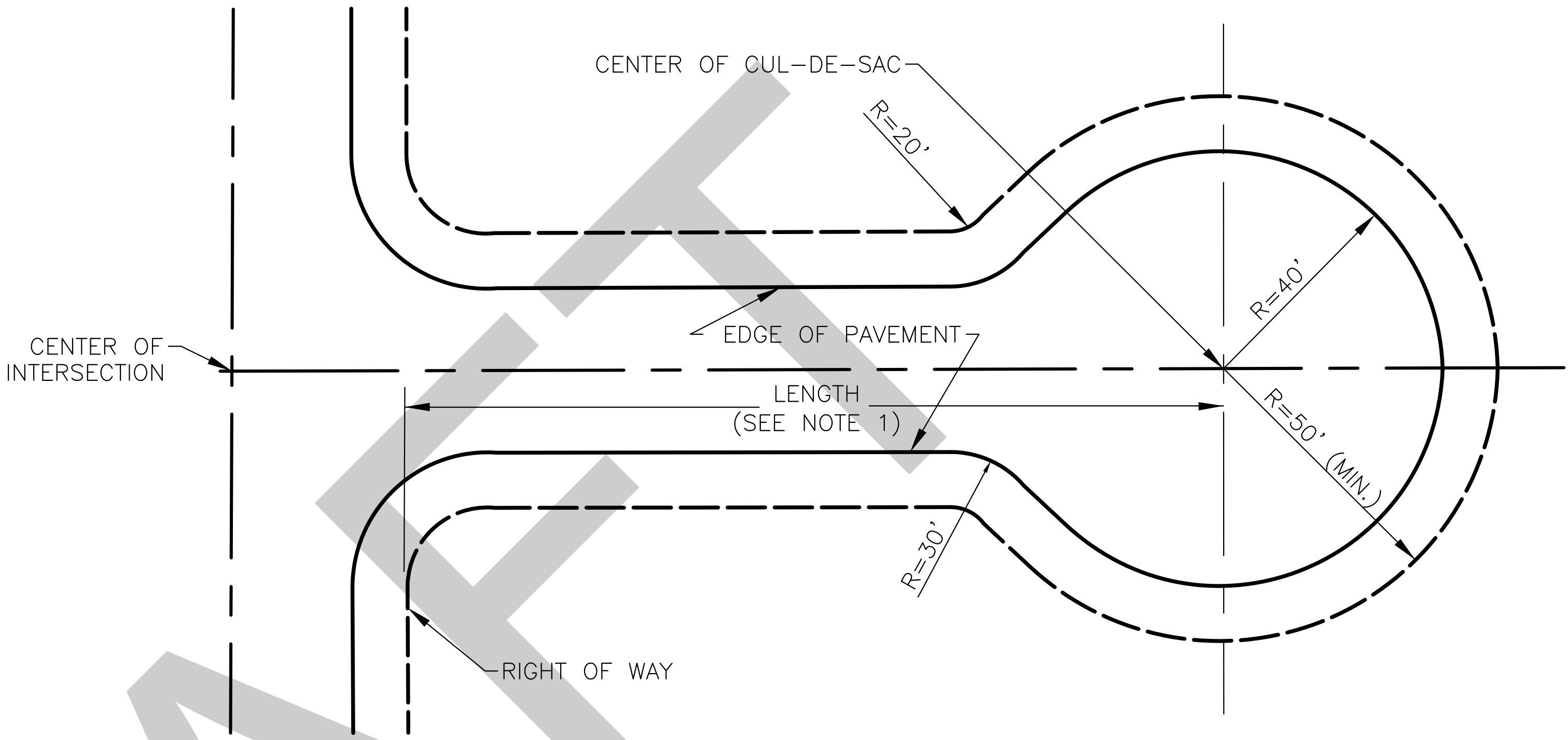
**Local Street
Intersection -Curbed Plan**

Standard Detail: B1

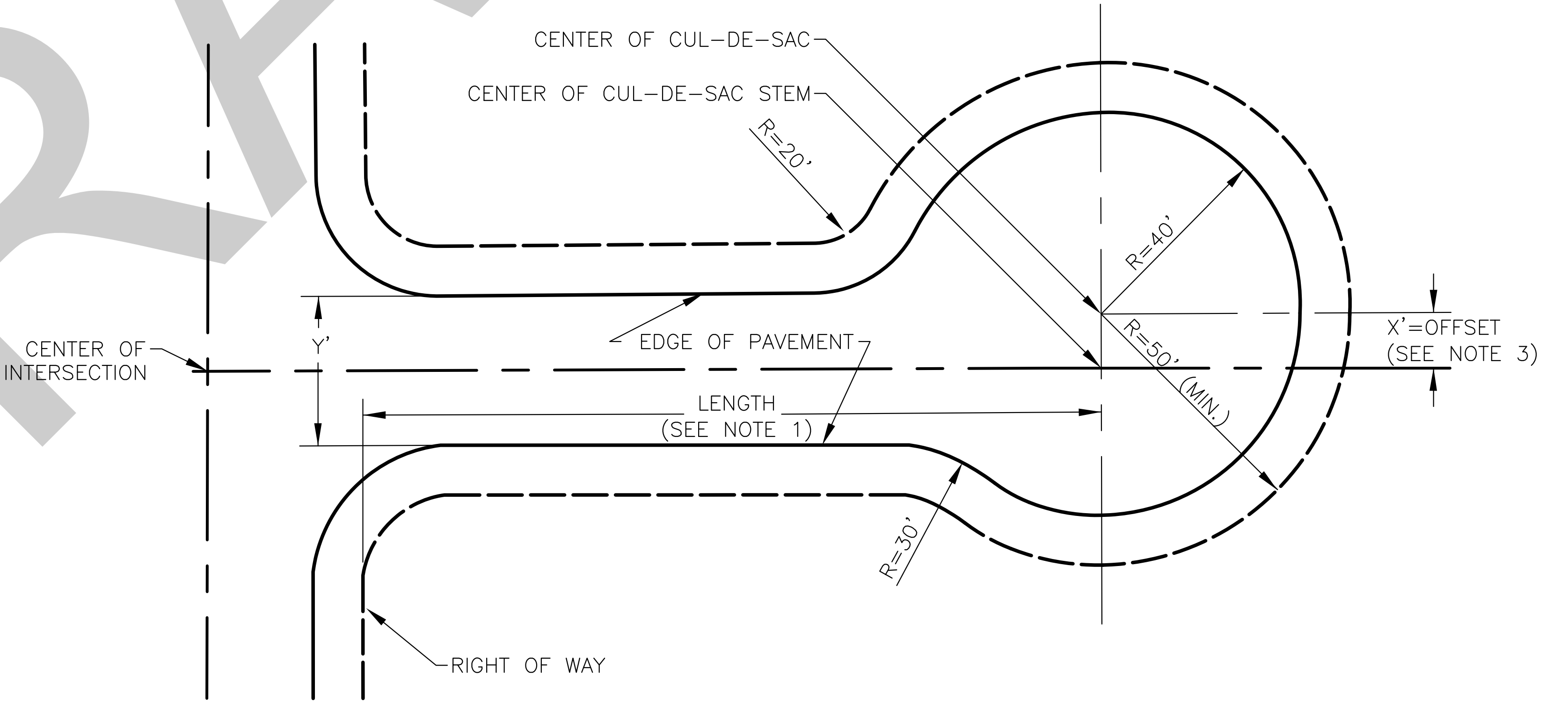
Scale: Not to Scale

Date: November 2014

CUL-DE-SAC



CUL-DE-SAC WITH OFFSET



NOTES:

- 1) LENGTH MEASURED ALONG CENTERLINE:
MINIMUM = 100 FEET
MAXIMUM = 700 FEET
- 2) RADIUS OF CUL-DE-SAC TO FLOW LINE OF CEMENT CONCRETE TRAFFIC CURB AND GUTTER = 41 FEET.
- 3) MAXIMUM OFFSET:
 $X' = 40 - Y'/2$
- 4) INSTALL STANDARD MONUMENTS AT THE CENTER OF THE CUL-DE-SAC AND AT THE CENTER OF THE CUL-DE-SAC STEM.



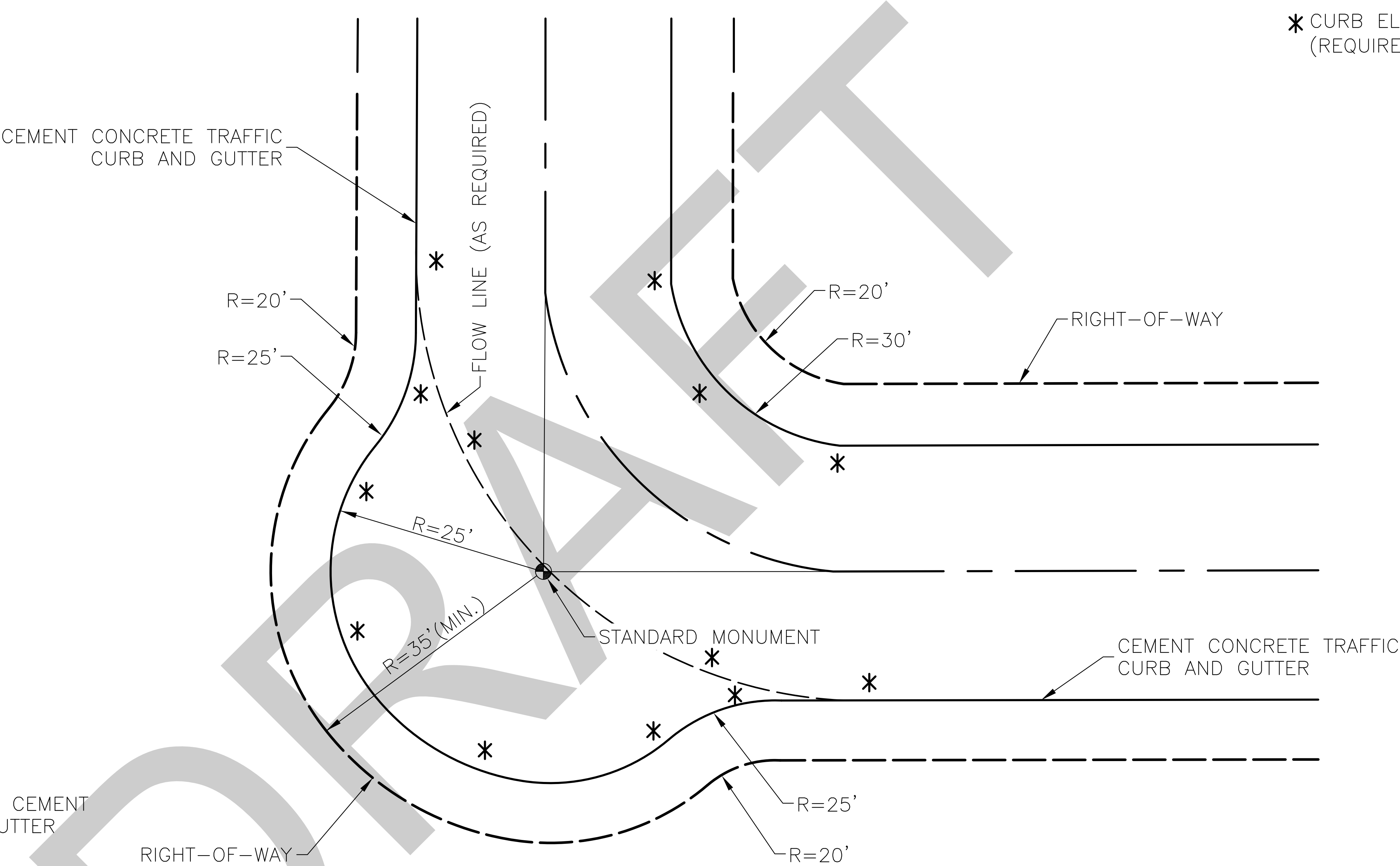
City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372

Cul-De-Sacs

Standard Detail:	B2
Scale:	Not to Scale
Date:	November 2014

LEGEND

* CURB ELEVATIONS
(REQUIRED ON PLANS)



NOTES:

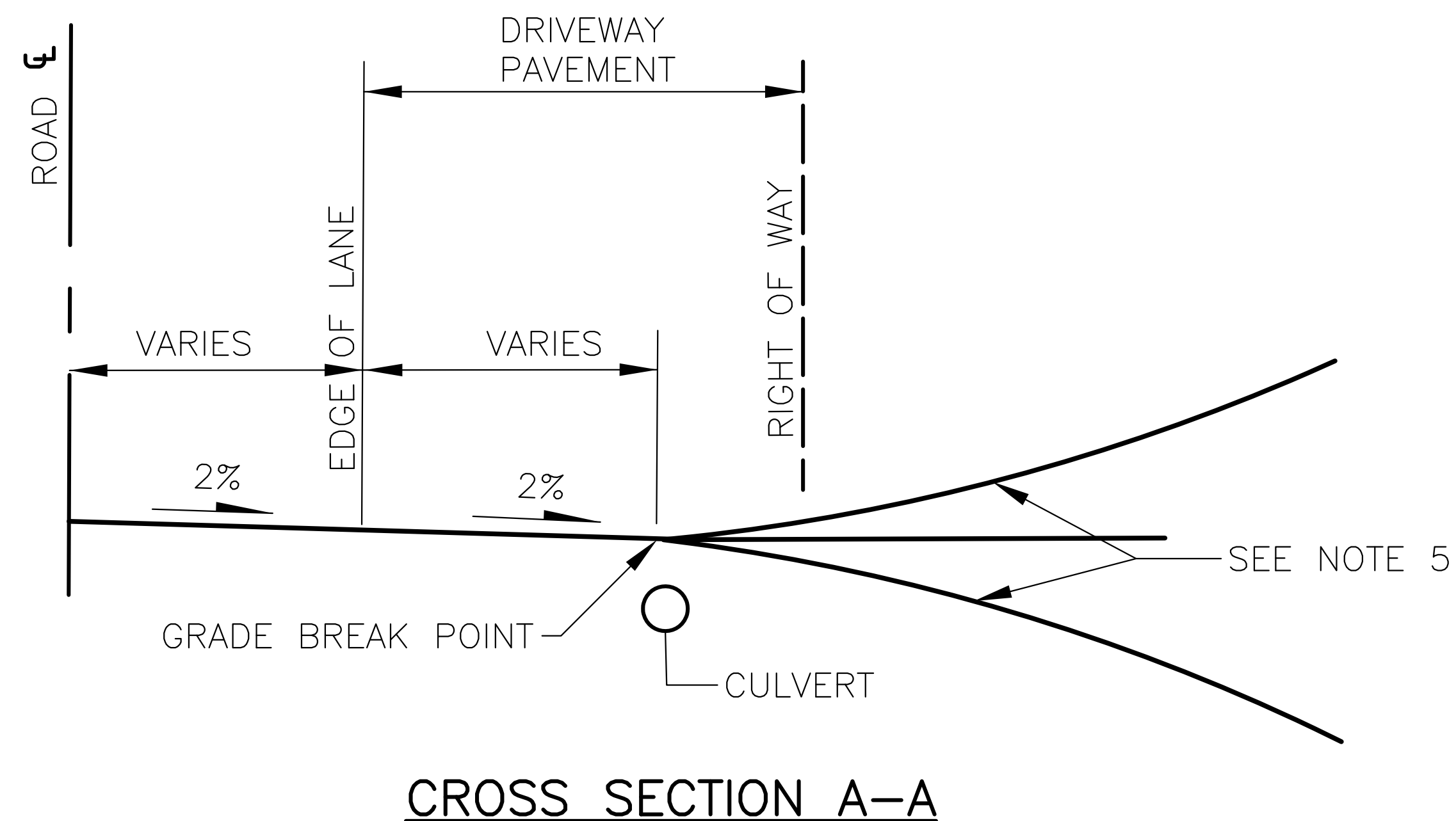
- 1) SEE STANDARD DRAWING D2 FOR CEMENT CONCRETE TRAFFIC CURB AND GUTTER DETAILS.
- 2) INSTALL A STANDARD MONUMENT AT THE POINT OF INTERSECTION FOR THE CURVE.



City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372

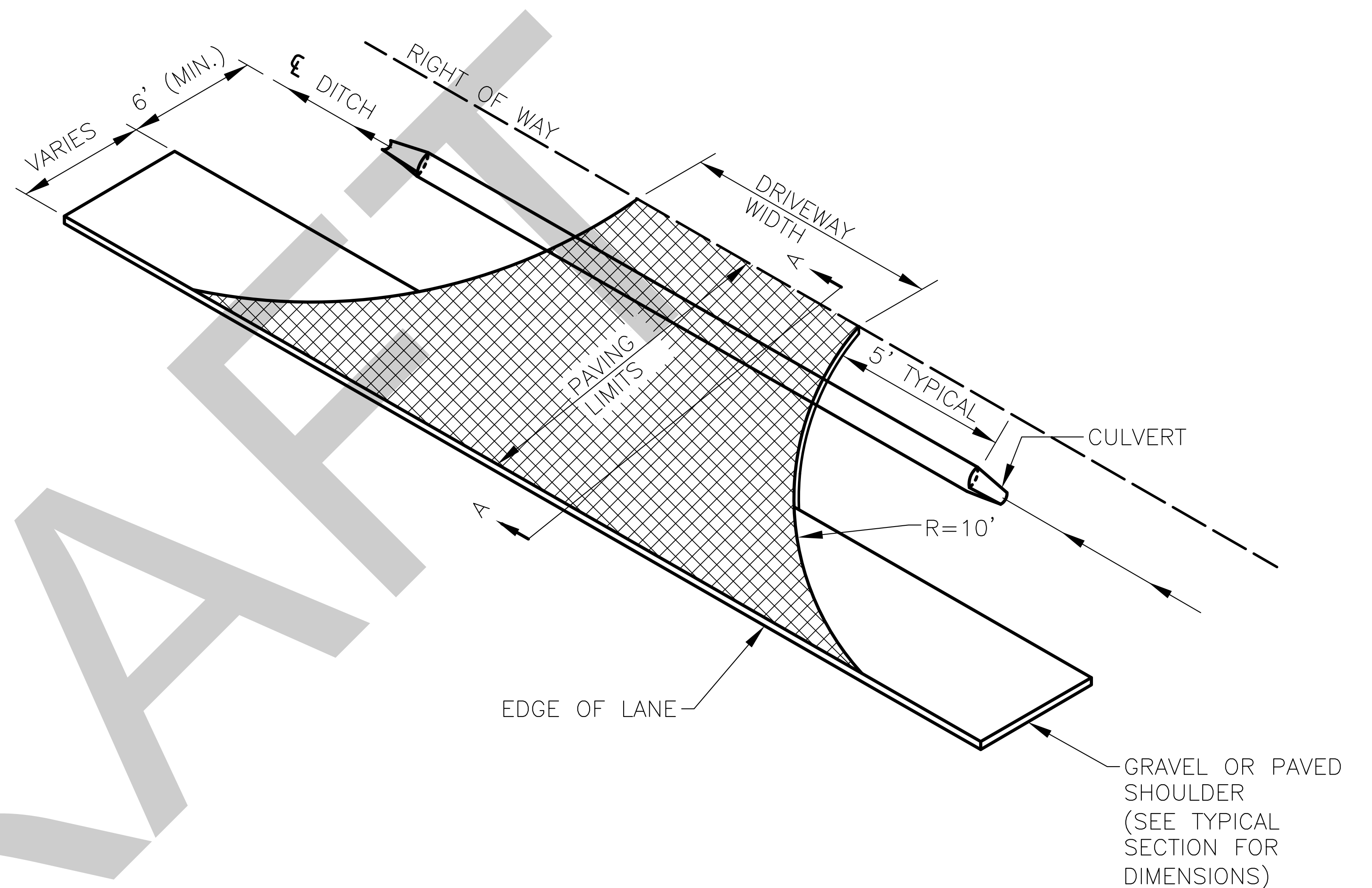
Right Angle "L" Intersection

Standard Detail:	B3
Scale:	Not to Scale
Date:	November 2014



NOTES:

- 1) DRIVEWAY WIDTH = 15' MINIMUM TO 24' MAXIMUM, OR MATCH EXISTING AS APPROVED BY THE CITY ENGINEER.
- 2) DRIVEWAY PAVING = 2" MINIMUM COMPACTED DEPTH HOT MIX ASPHALT CL. 1/2 IN. OVER 2" MINIMUM COMPACTED DEPTH CRUSHED SURFACING TOP COURSE, OR 6" MINIMUM CEMENT CONCRETE.
- 3) STORM RUNOFF FROM DRIVEWAY SHALL NOT DRAIN ONTO ROADWAY SURFACE, UNLESS ACCOUNTED FOR IN DRAINAGE DESIGN.
- 4) DRIVEWAY SHALL NORMALLY BE AT 90 DEGREES TO ROADWAY CENTERLINE, BUT MAY VARY FROM 75 DEGREES TO 90 DEGREES.
- 5) RECOMMENDED MAXIMUM GRADES $\pm 15\%$ BEYOND GRADE BREAK POINT. VERTICAL CURVES NOT TO EXCEED A 3 1/4" CREST OR A 1" SAG IN A 10' CHORD.
- 6) INSTALL A CULVERT TO CONVEY WATER THROUGH THE DITCH. SIZE THE CULVERT BASED ON A HYDROLOGY AND HYDRAULIC ANALYSIS OF THE SITE; HOWEVER THE MINIMUM SIZE CULVERT ALLOWED IS 12" DIAMETER. THE CULVERT LENGTH IS DETERMINED BY THE WIDTH OF THE DRIVEWAY, PLUS 5' AT EACH END, WITH BEVELED END SECTIONS.



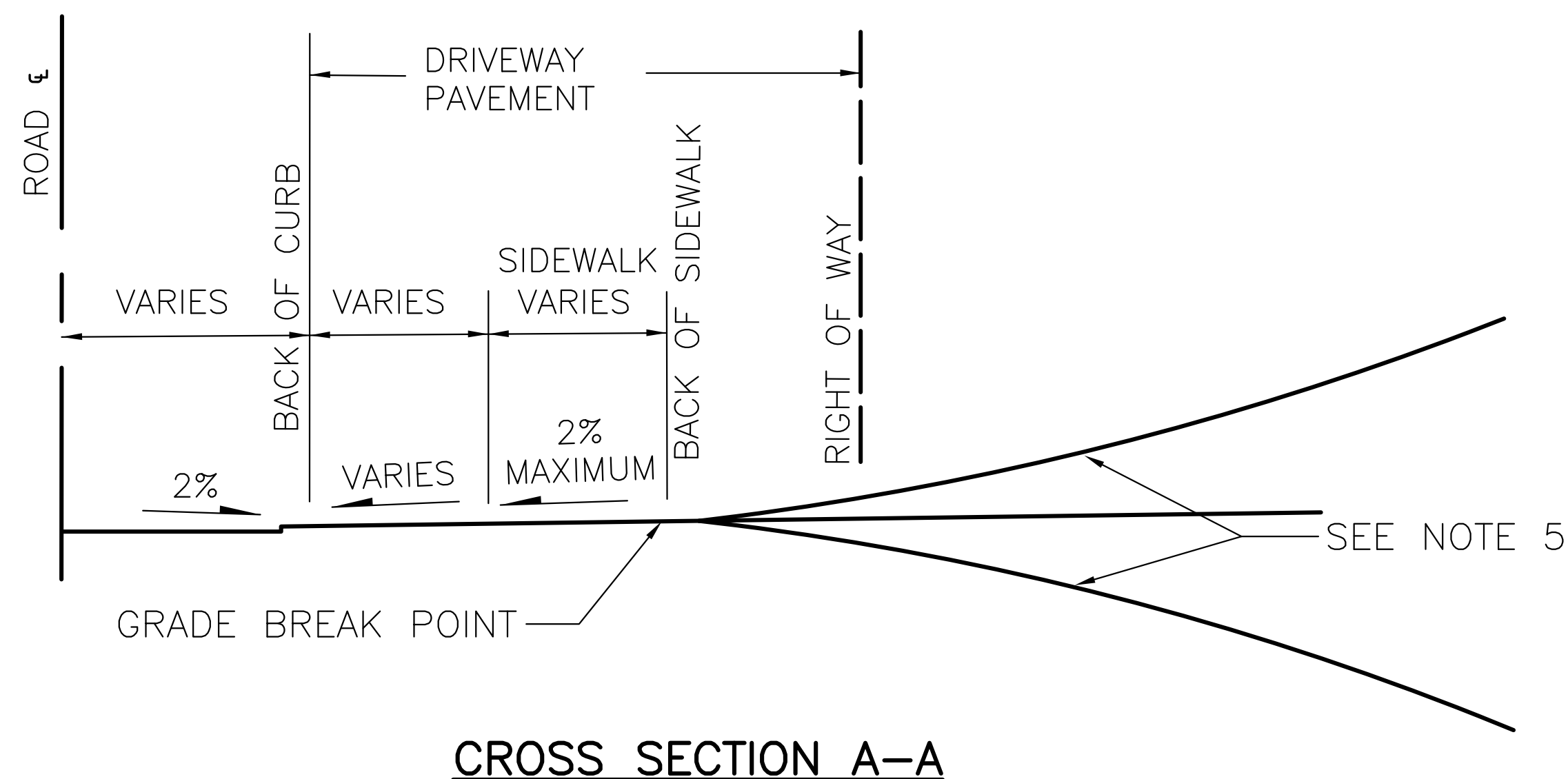
*City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372*

**Residential
Driveway Approach
Un-Curbed**

Standard Detail: C1

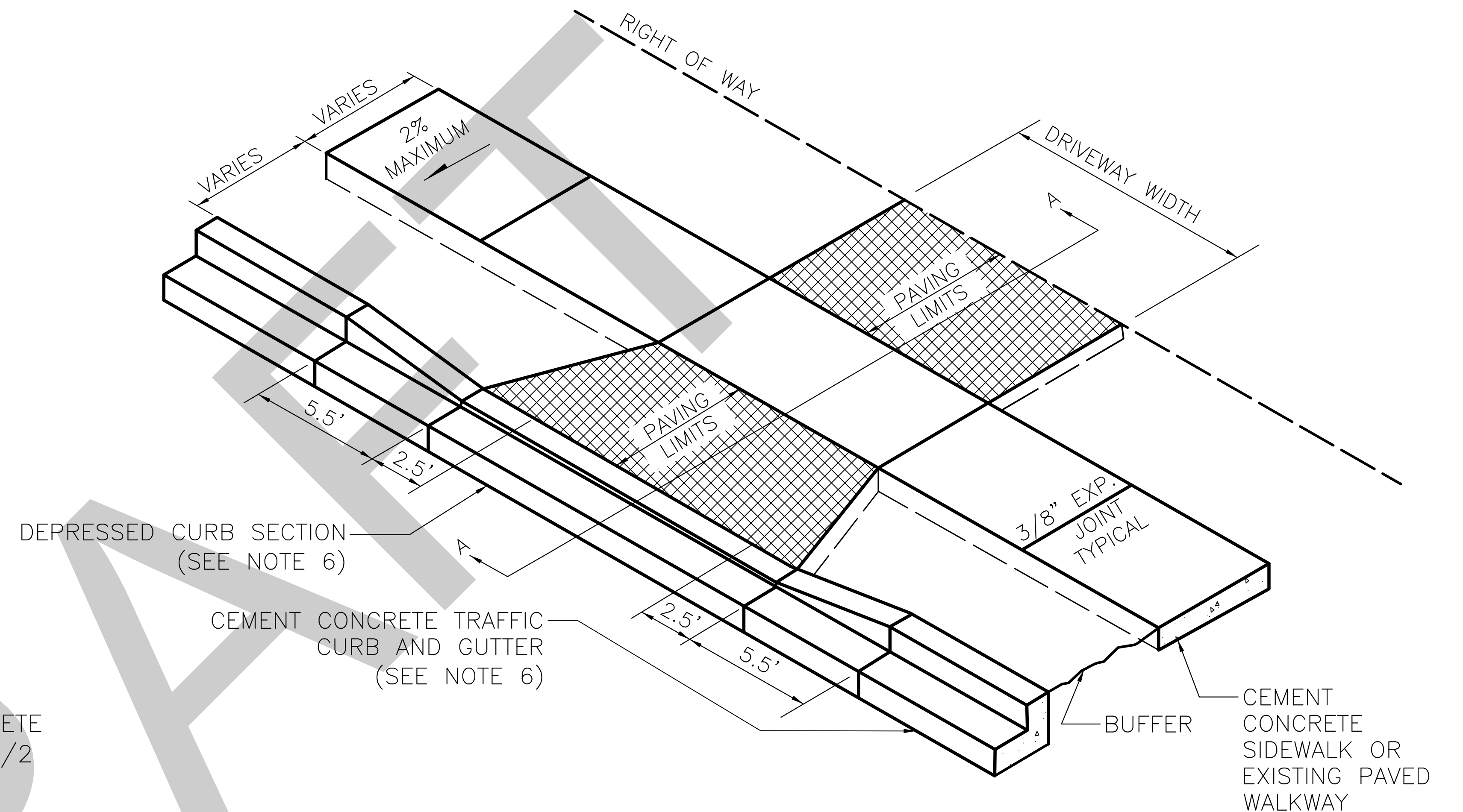
Scale: Not to Scale

Date: November 2014



NOTES:

- 1) DRIVEWAY WIDTH = 15' MINIMUM TO 24' MAXIMUM, OR MATCH EXISTING AS APPROVED BY THE CITY ENGINEER.
- 2) DRIVEWAY PAVING = 6" MINIMUM CEMENT CONCRETE IF CEMENT CONCRETE SIDEWALK OR: 2" MINIMUM COMPACTED DEPTH HOT MIX ASPHALT CL. 1/2 IN. OVER 2" MINIMUM COMPACTED DEPTH CRUSHED SURFACING TOP COURSE, IF MATCHING EXISTING PAVED WALKWAY.
- 3) STORM RUNOFF FROM DRIVEWAY SHALL NOT DRAIN ONTO ROADWAYS SURFACE, UNLESS ACCOUNTED FOR IN DRAINAGE DESIGN.
- 4) DRIVEWAY SHALL NORMALLY BE AT 90 DEGREES TO ROADWAY CENTERLINE, BUT MAY VARY FROM 75 DEGREES TO 90 DEGREES.
- 5) RECOMMENDED MAXIMUM GRADES $\pm 15\%$ BEYOND GRADE BREAK POINT. VERTICAL CURVES NOT TO EXCEED A 3 1/4" CREST OR A 1" SAG IN A 10' CHORD.
- 6) SEE STANDARD DRAWING D2 FOR CURB DETAILS.
- 7) SEE STANDARD DRAWING D1 FOR CEMENT CONCRETE SIDEWALK AND EXPANSION JOINT DETAILS.



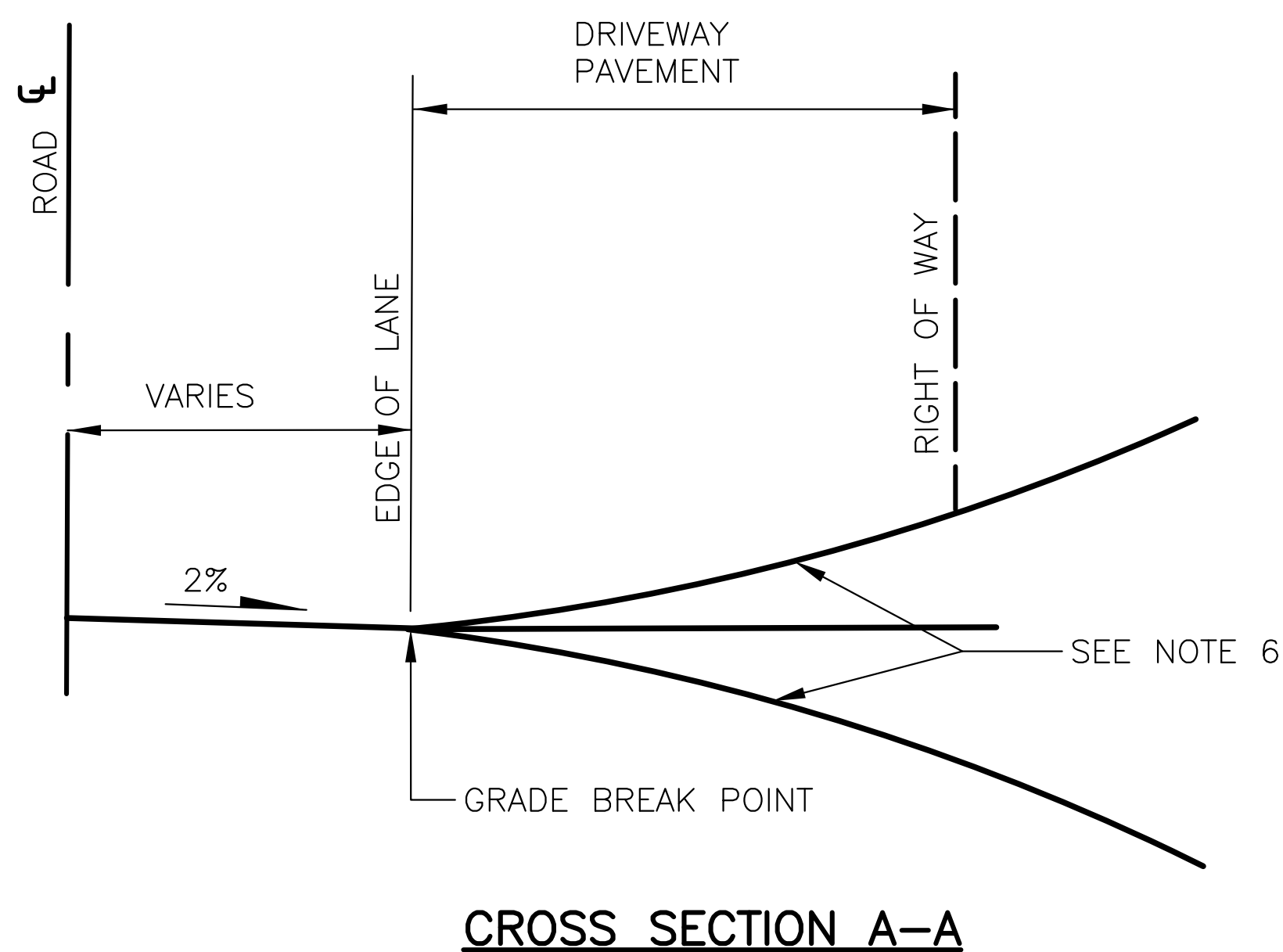
City of Edgewood, WA
2224 104th Ave. East
Edgewood, WA 98372

Residential
Driveway Approach
Curbed

Standard Detail: C2

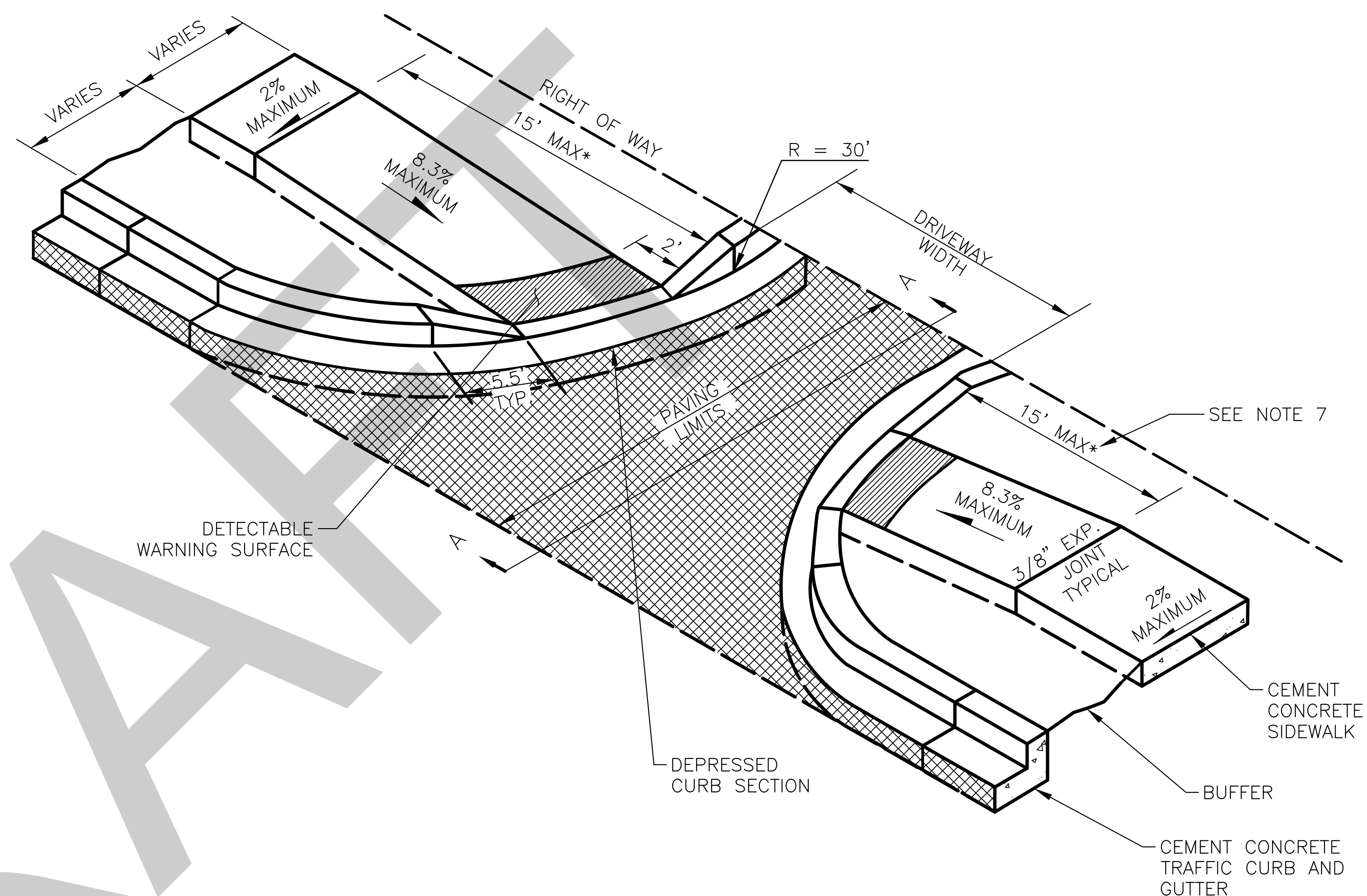
Scale: Not to Scale

Date: November 2014



NOTES:

- 1) FOR 2 LANE APPROACH DRIVEWAY WIDTH = 24' MINIMUM TO 30' MAXIMUM. FOR 3 LANE DRIVEWAY WIDTH = 30' MINIMUM TO 40' MAXIMUM, OR AS APPROVED BY THE CITY ENGINEER.
- 2) DRIVEWAY PAVING = 2" MINIMUM COMPACTED DEPTH HOT MIX ASPHALT CL. 1/2 IN. OVER 2" MINIMUM COMPACTED DEPTH CRUSHED SURFACING TOP COURSE, OR 6" MINIMUM CEMENT CONCRETE.
- 3) ENGINEERED PAVEMENT DESIGN IS REQUIRED FOR ROADWAYS.
- 4) STORM RUNOFF FROM DRIVEWAY SHALL NOT DRAIN ONTO ROADWAY SURFACE, UNLESS ACCOUNTED FOR IN DRAINAGE DESIGN.
- 5) DRIVEWAY SHALL NORMALLY BE AT 90 DEGREES TO ROAD CENTERLINE, BUT MAY VARY FROM 75 DEGREES TO 90 DEGREES.
- 6) RECOMMENDED MAXIMUM GRADES +/- 15% BEYOND GRADE BREAK POINT. VERTICAL CURVES NOT TO EXCEED A 3 1/4" CREST OR A 1" SAG IN A 10' CHORD.
- 7) ADJUST SIDEWALK RAMP LENGTHS TO MEET AMERICANS WITH DISABILITIES ACT REQUIREMENTS AS NEEDED.
- 8) SEE STANDARD DRAWING D4 FOR DETECTABLE WARNING SURFACE DETAILS.
- 9) SEE STANDARD DRAWING D1 FOR CEMENT CONCRETE SIDEWALK AND EXPANSION JOINT DETAILS.
- 10) SEE STANDARD DRAWING D2 FOR CURB DETAILS.



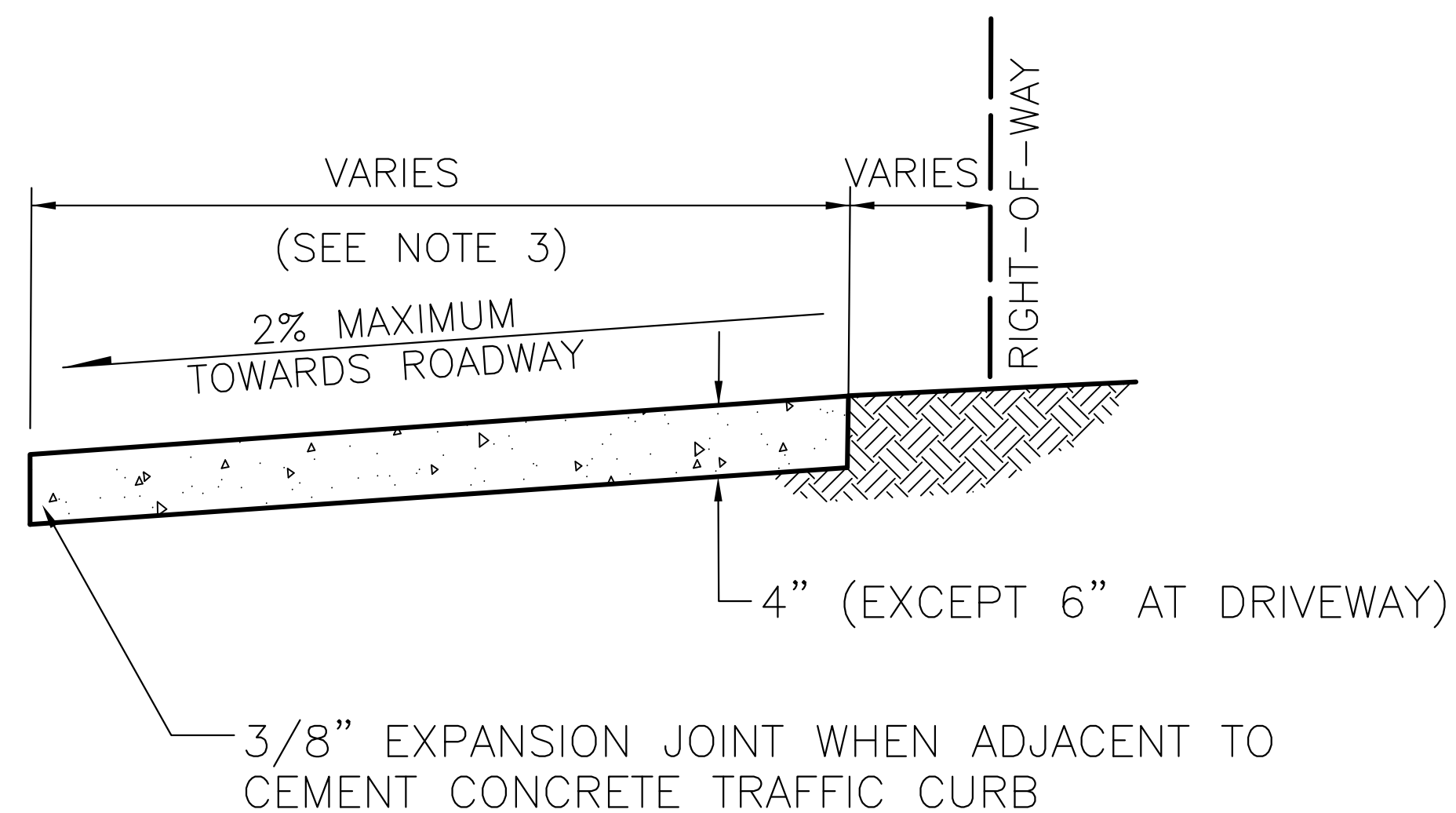
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Edgewood, WA 98372

Commercial
Driveway Approach
Curbed

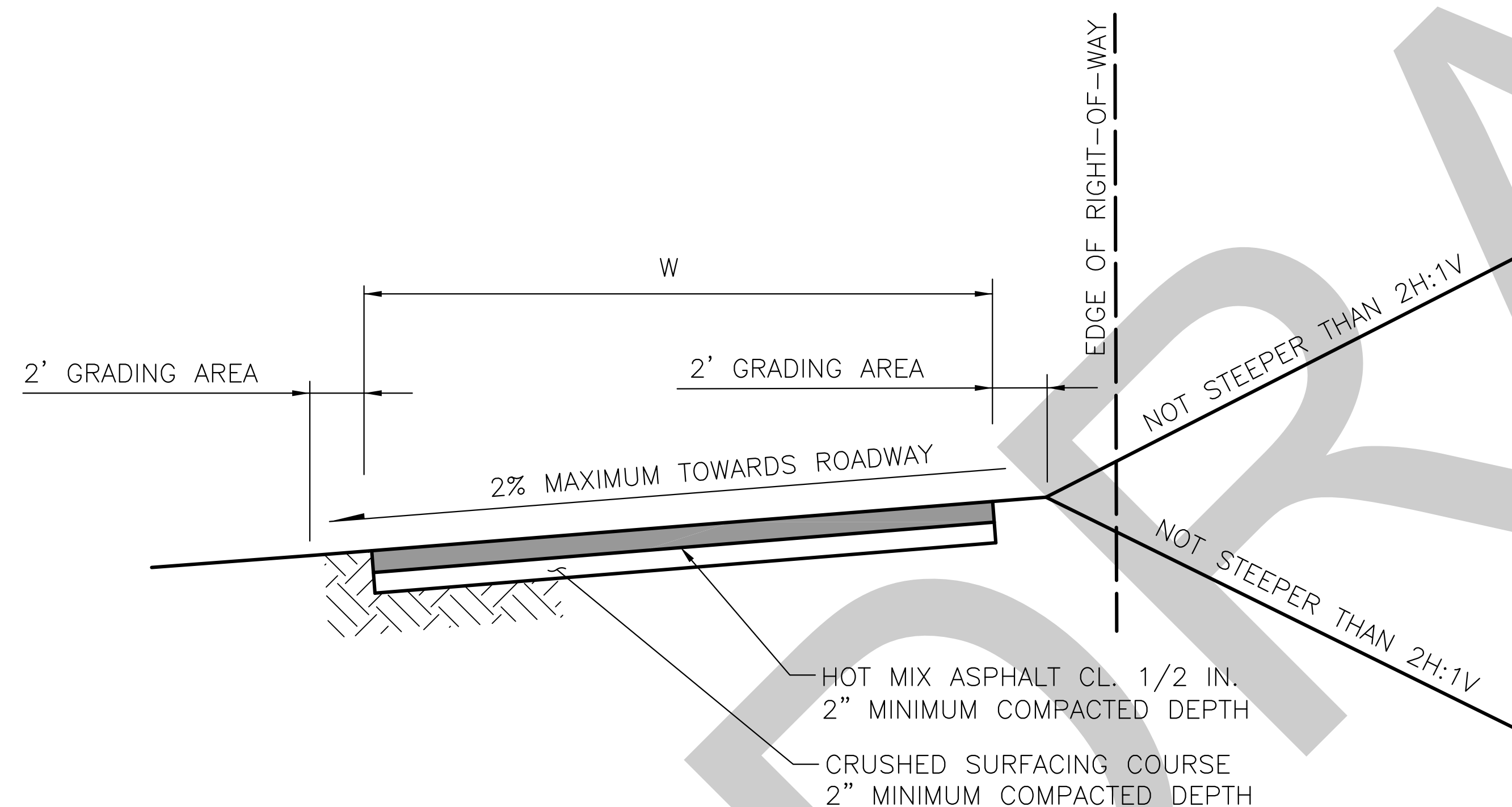
Standard Detail: C3

Scale: Not to Scale

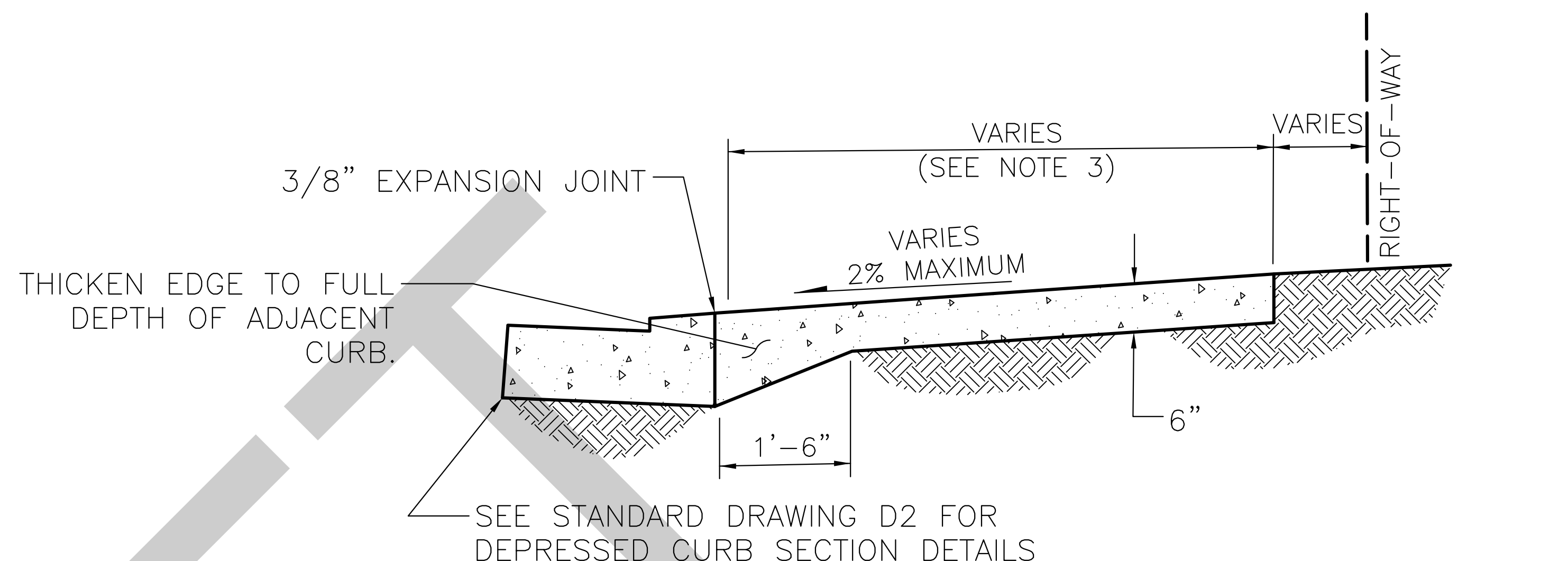
Date: November 2014



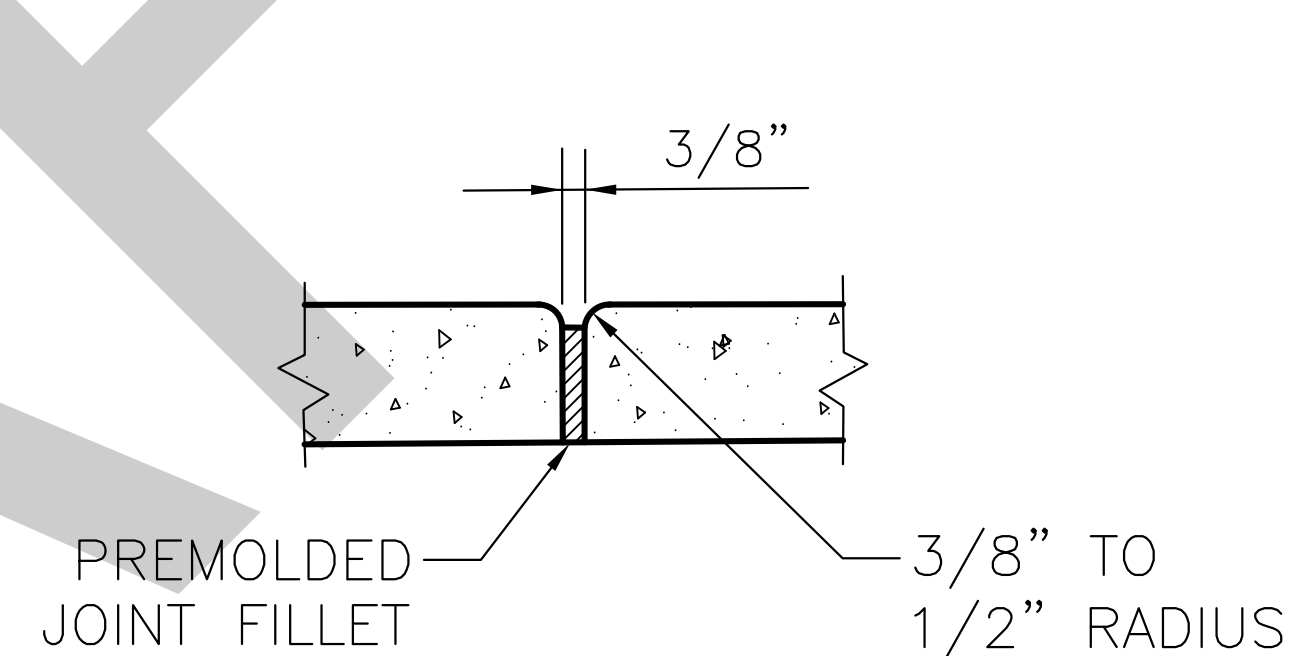
CEMENT CONCRETE SIDEWALK



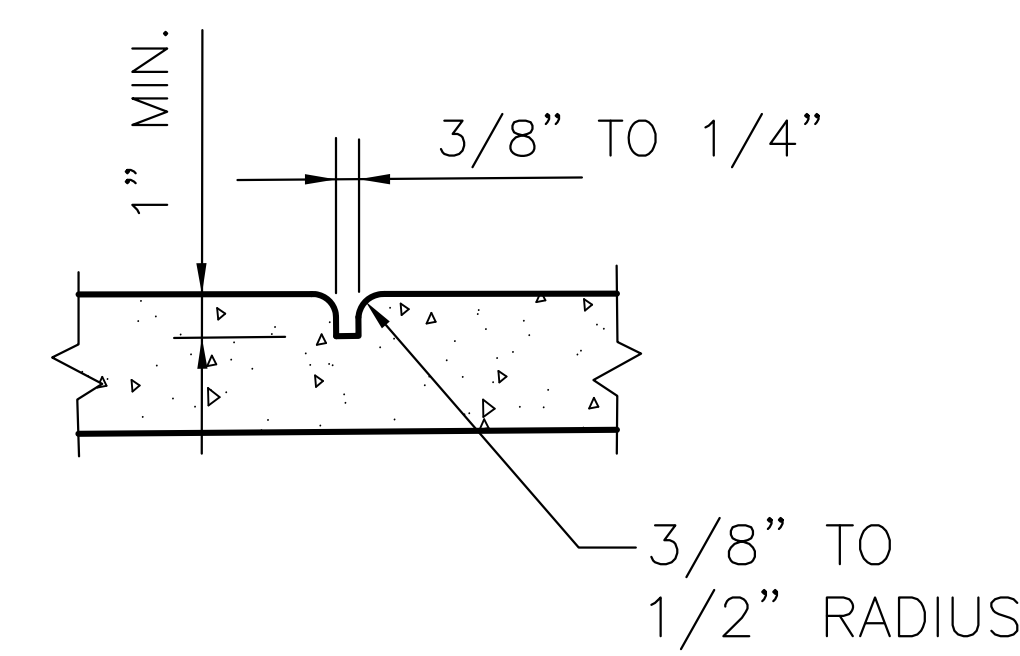
SHARED-USE PATH



**CEMENT CONCRETE SIDEWALK AT RESIDENTIAL DRIVEWAY WITH
CEMENT CONCRETE TRAFFIC CURB AND GUTTER**



EXPANSION JOINT DETAIL



CONTRACTION JOINT DETAIL

NOTES:

- 1) STORM DRAIN INFILTRATION SYSTEMS SHALL NOT BE PERMITTED UNDER THE SIDEWALK.
- 2) EXPANSION JOINTS SHALL BE PLACED ALONG SIDEWALKS AT 15' MAXIMUM SPACING. CONTRACTION JOINTS SHALL BE PLACED BETWEEN THE EXPANSION JOINTS AT A 5' MAXIMUM SPACING.
- 3) REFER TO TYPICAL SECTIONS FOR SIDEWALK WIDTHS.
- 4) SIDEWALKS AND SHARED-USE PATHS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
- 5) SHARED-USE PATH WIDTH (W) IS 10' MINIMUM IF GRADE OF TRAIL IS LESS THAN 5%, OR 13' MINIMUM IF OVER 5%.
- 6) SHARED-USE PATH SHOULD BE LOCATED AS CLOSE AS POSSIBLE TO OUTER EDGE OF THE EXISTING ROADWAY RIGHT-OF-WAY.
- 7) BROOM FINISH ALL CEMENT CONCRETE SIDEWALKS.



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**Cement Concrete Sidewalk
and Shared-Use Path**

Standard Detail: D1

Scale: Not to Scale

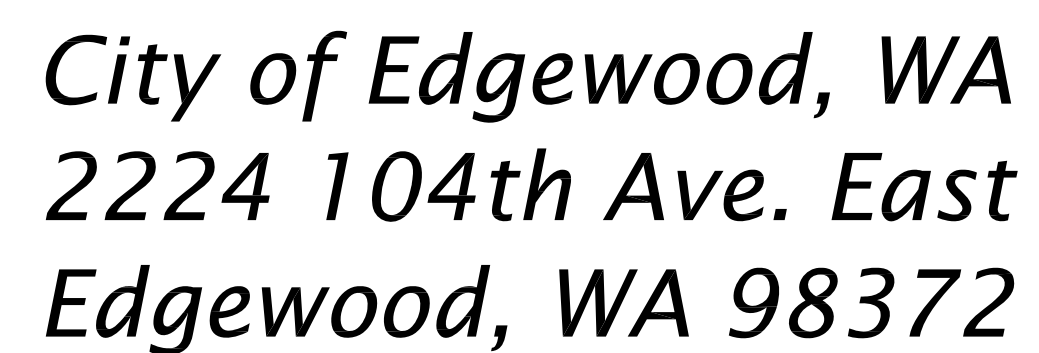
Date: November 2014



- 1) CURB HEIGHT VARIES FROM 0" TO 6", MAINTAIN 1H:6V SLOPE ON FACE OF CURB.
- 2) CURB HEIGHT SHALL BE FLUSH WITH GUTTER PAN AT CURB RAMPS.
- 3) CURB HEIGHT SHALL BE 1/2" AT DRIVEWAY APPROACH AND 1" AT REVERSE GRADE APPROACH.



1) CURB HEIGHT SHALL BE 3" FOR EMERGENCY VEHICLE TURNAROUND IN SMALL LOT DEVELOPMENTS ONLY.

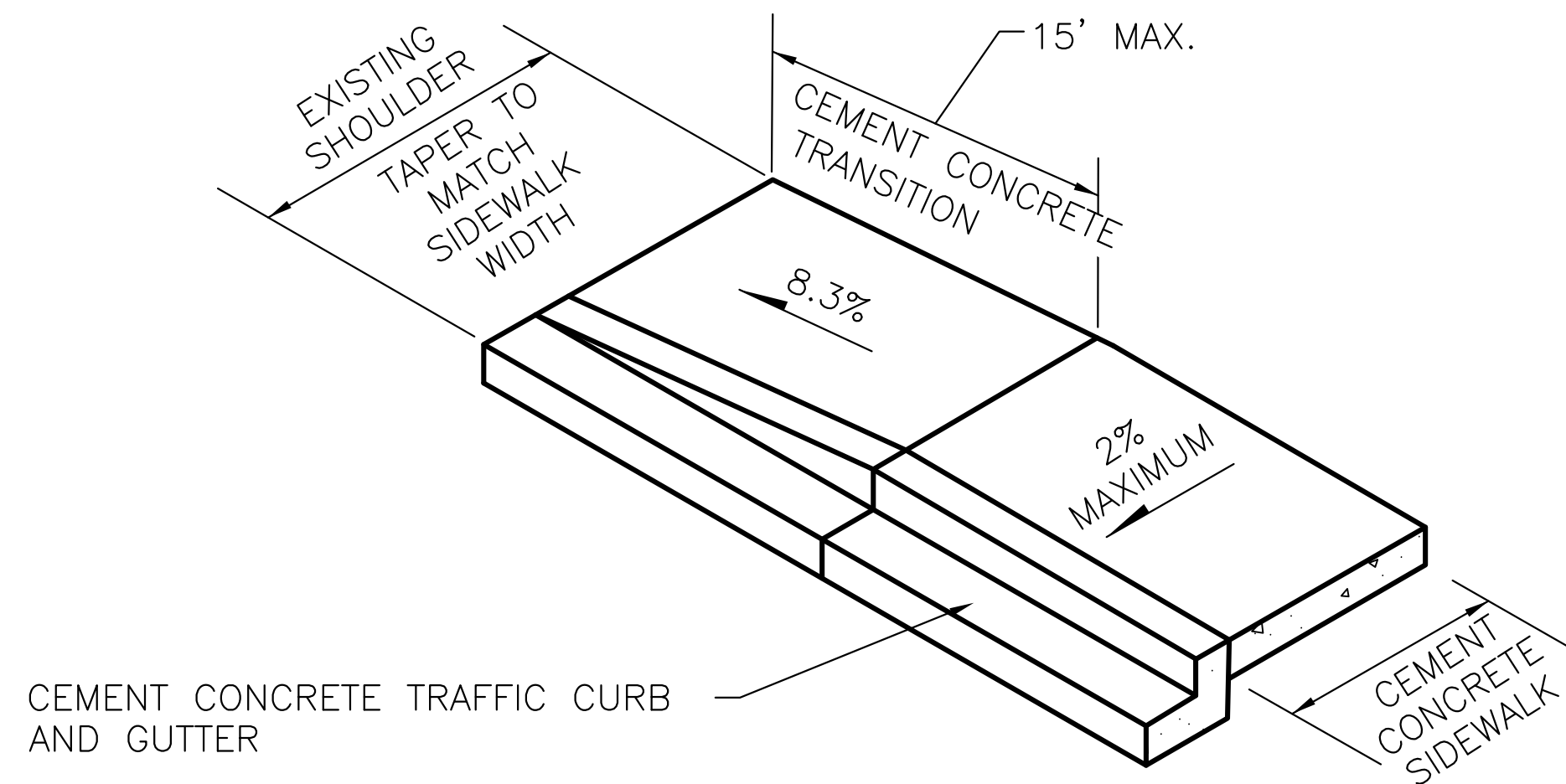


Curb Details

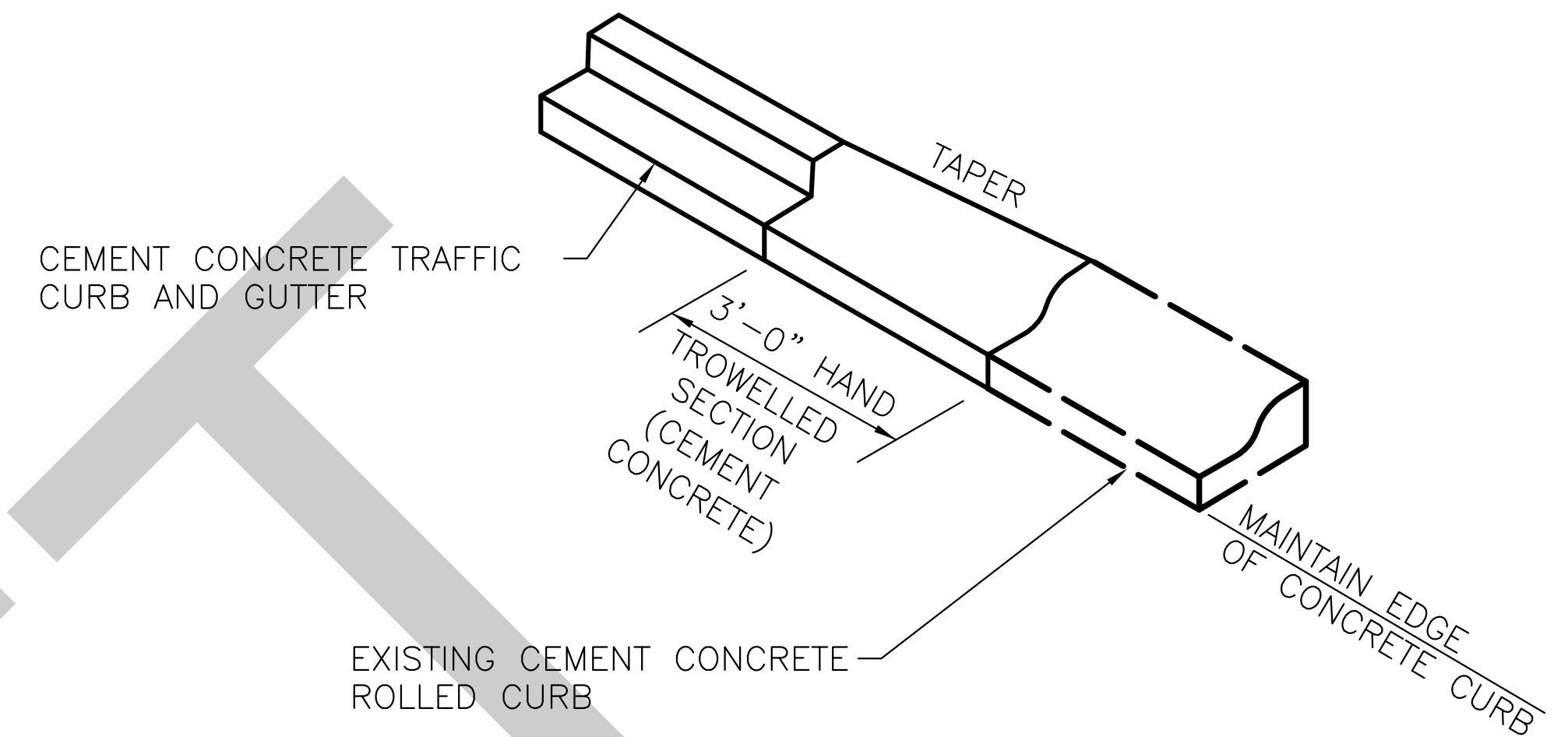
Standard Detail: D2

Scale: Not to Scale

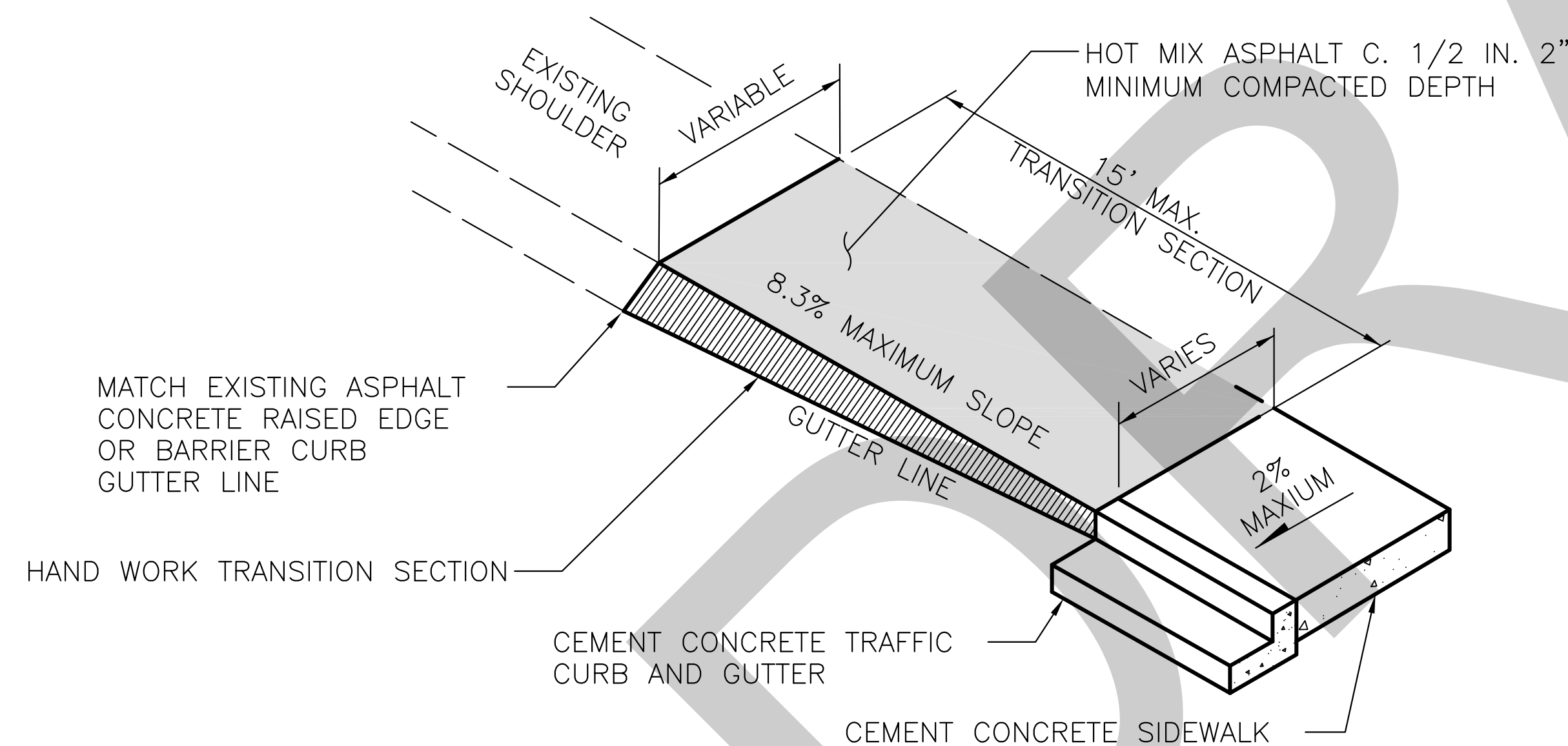
Date: November 2014



**CEMENT CONCRETE TRAFFIC CURB AND GUTTER AND
SIDEWALK TO SHOULDER TRANSITION**



**CEMENT CONCRETE TRAFFIC RUB AND GUTTER TO EXISTING
CEMENT CONCRETE ROLLED CURB TRANSITION**



**CEMENT CONCRETE TRAFFIC CURB AND GUTTER AND SIDEWALK TO
EXISTING ASPHALT CONCRETE RAISED EDGE OR BARRIER CURB**

NOTES:

- 1) SEE STANDARD DRAWING D1 FOR CEMENT CONCRETE SIDEWALK DETAILS.
- 2) SEE STANDARD DRAWING D2 FOR CURB DETAILS.



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Curb Transitions

Standard Detail: D3

Scale: Not to Scale

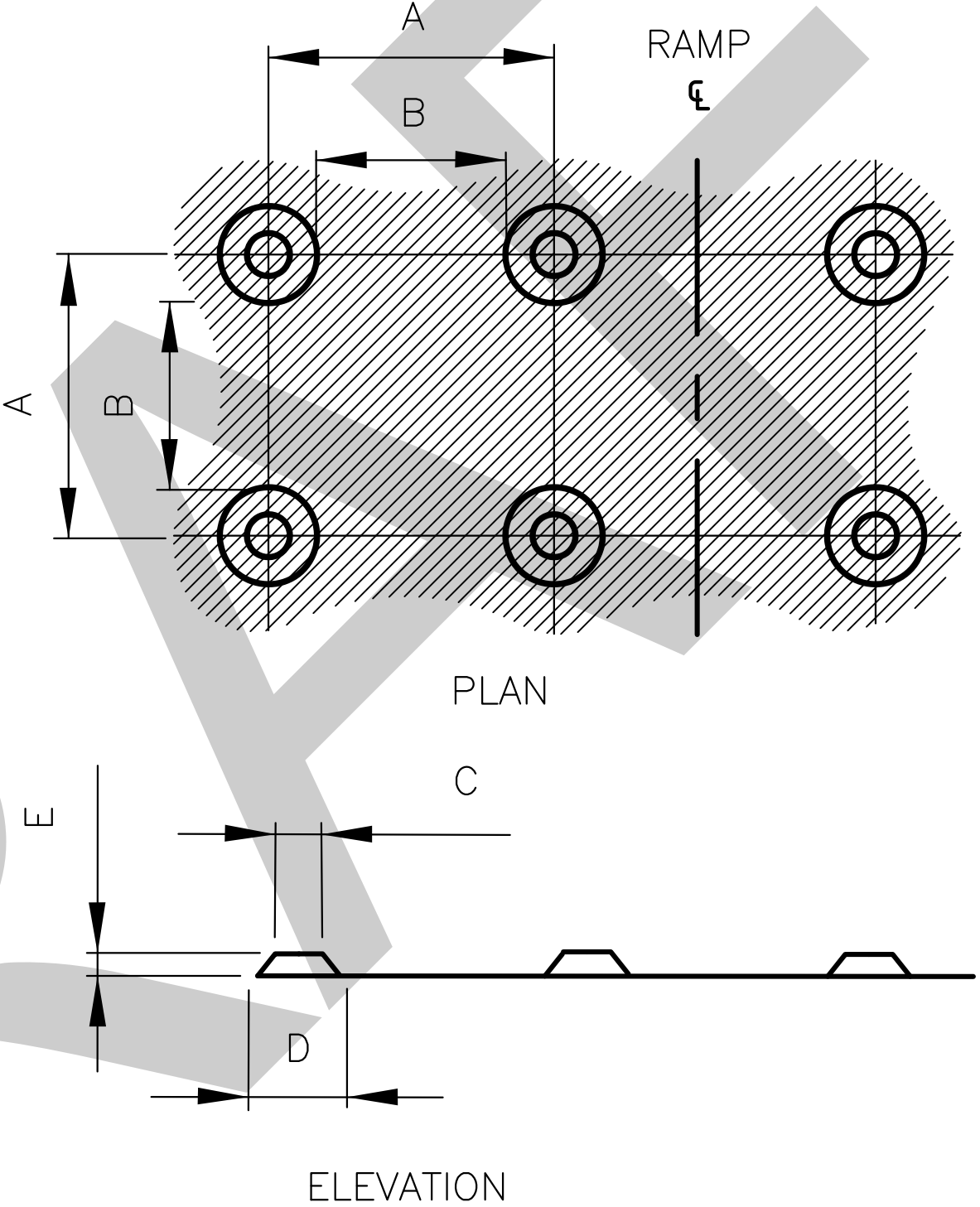
Date: November 2014

NOTES:

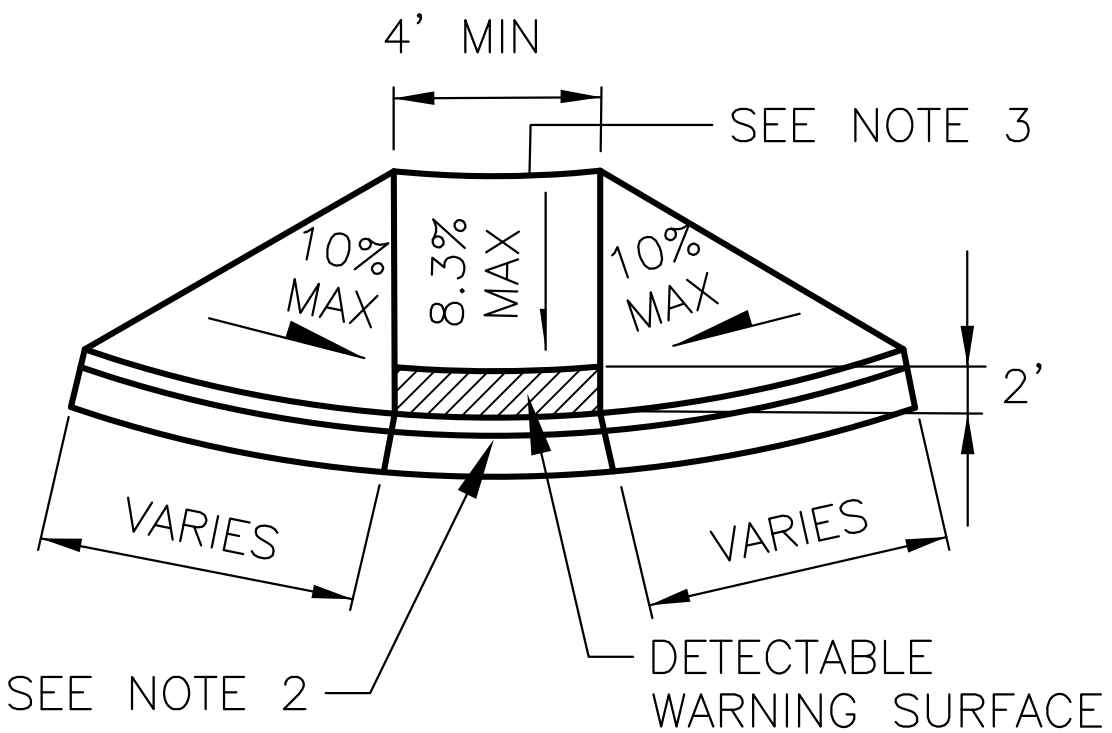
- 1) ADJUST DIMENSIONS AS NEEDED TO MEET REQUIREMENTS OF THE PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE'S SPECIAL REPORT: ACCESSIBLE PUBLIC RIGHTS-OF-WAY PLANNING AND DESIGNING FOR ALTERATIONS, DATED JULY 2007.
- 2) CURB TO BE FLUSH WITH ADJACENT ROADWAY SURFACE.
- 3) PERPENDICULAR RAMP LENGTH IS MEASURED FROM BACK OF CURB.
- 4) PARALLEL RAMP LENGTHS VARY FROM 6' MIN TO 15' MAX.
- 5) SEE STANDARD DRAWING D1 FOR CEMENT CONCRETE SIDEWALK DETAILS.
- 6) SEE STANDARD DRAWING D2 FOR CURB DETAILS.

DETECTABLE WARNING SURFACE AREA SHALL BE YELLOW AND IN COMPLIANCE WITH WSDOT STANDARD SPECIFICATIONS.

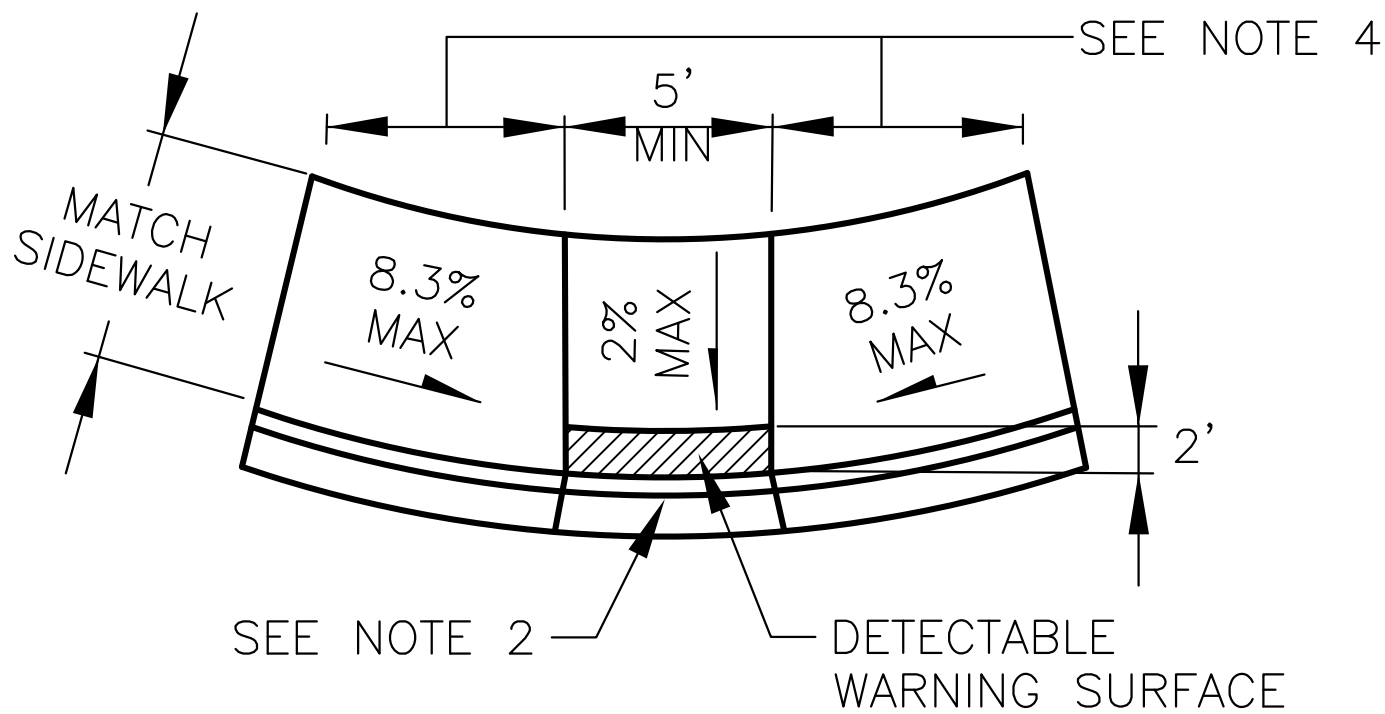
	MIN.	MAX.
A	1.6"	2.40"
B	0.65"	—
C	0.45"	0.90"
D	0.90"	1.40"
E	0.20"	0.20"



DETECTABLE WARNING SURFACE DETAIL



CEMENT CONCRETE CURB RAMP TYPE 1
(PERPENDICULAR)



CEMENT CONCRETE CURB RAMP TYPE 2
(PARALLEL)



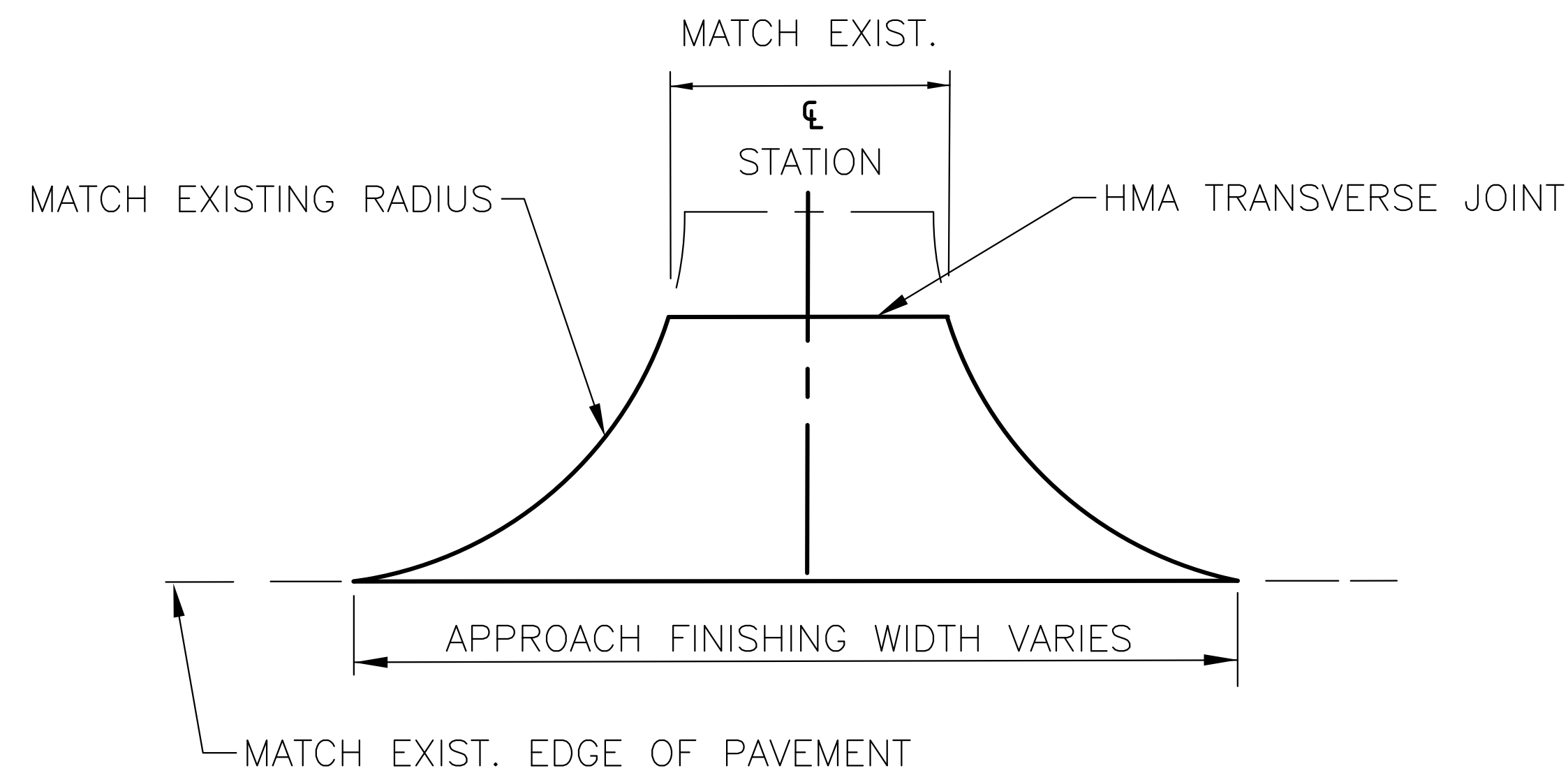
City of Edgewood, WA
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Cement Concrete
Curb Ramps

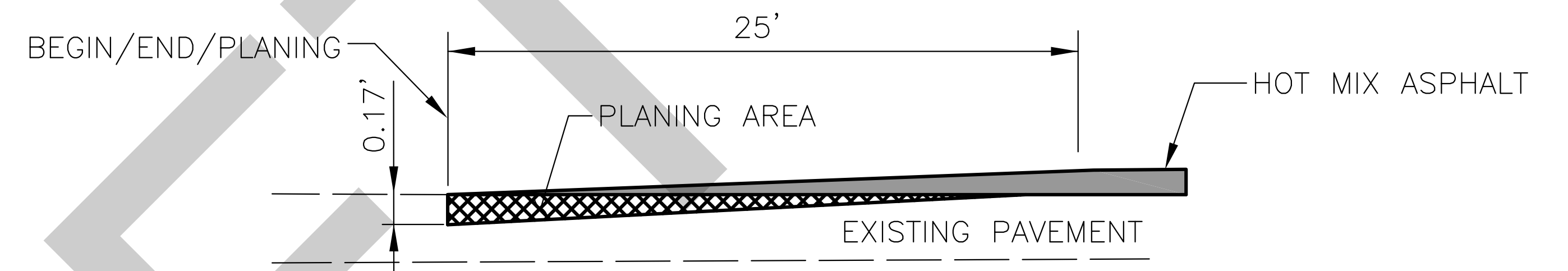
Standard Detail: D4

Scale: Not to Scale

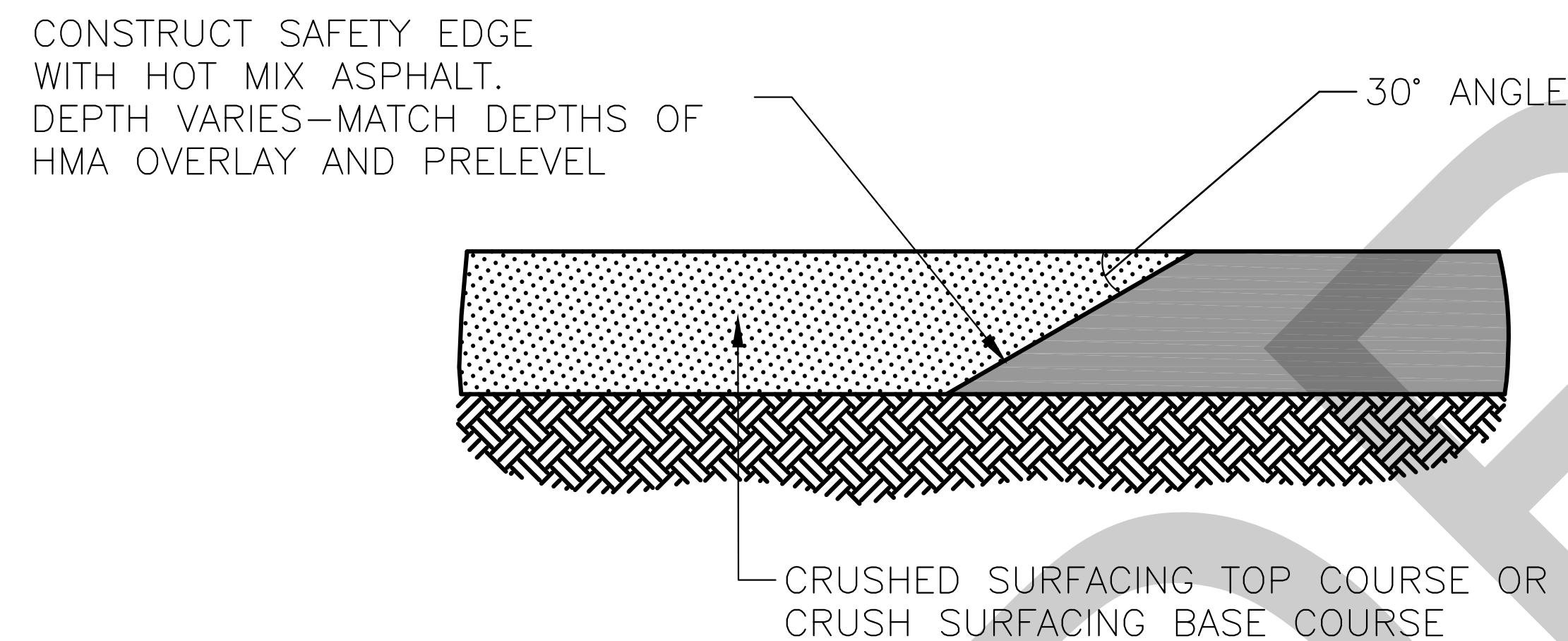
Date: November 2014



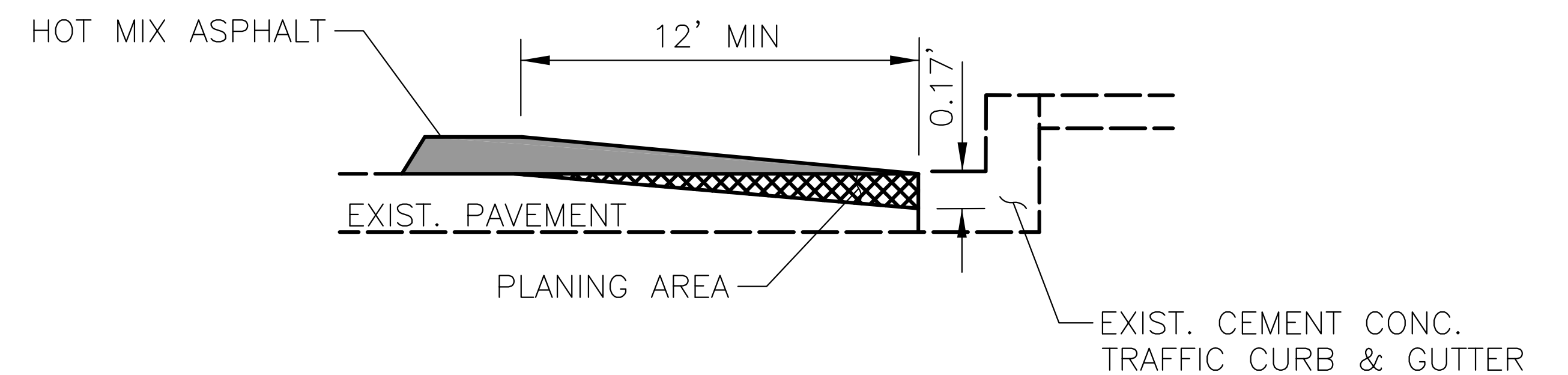
ROAD/DRIVEWAY APPROACH



TRANSVERSE JOINT PLANING



SAFETY EDGE



VERTICAL JOINT PLANING



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Planning/Overlay Details

Standard Detail: D5

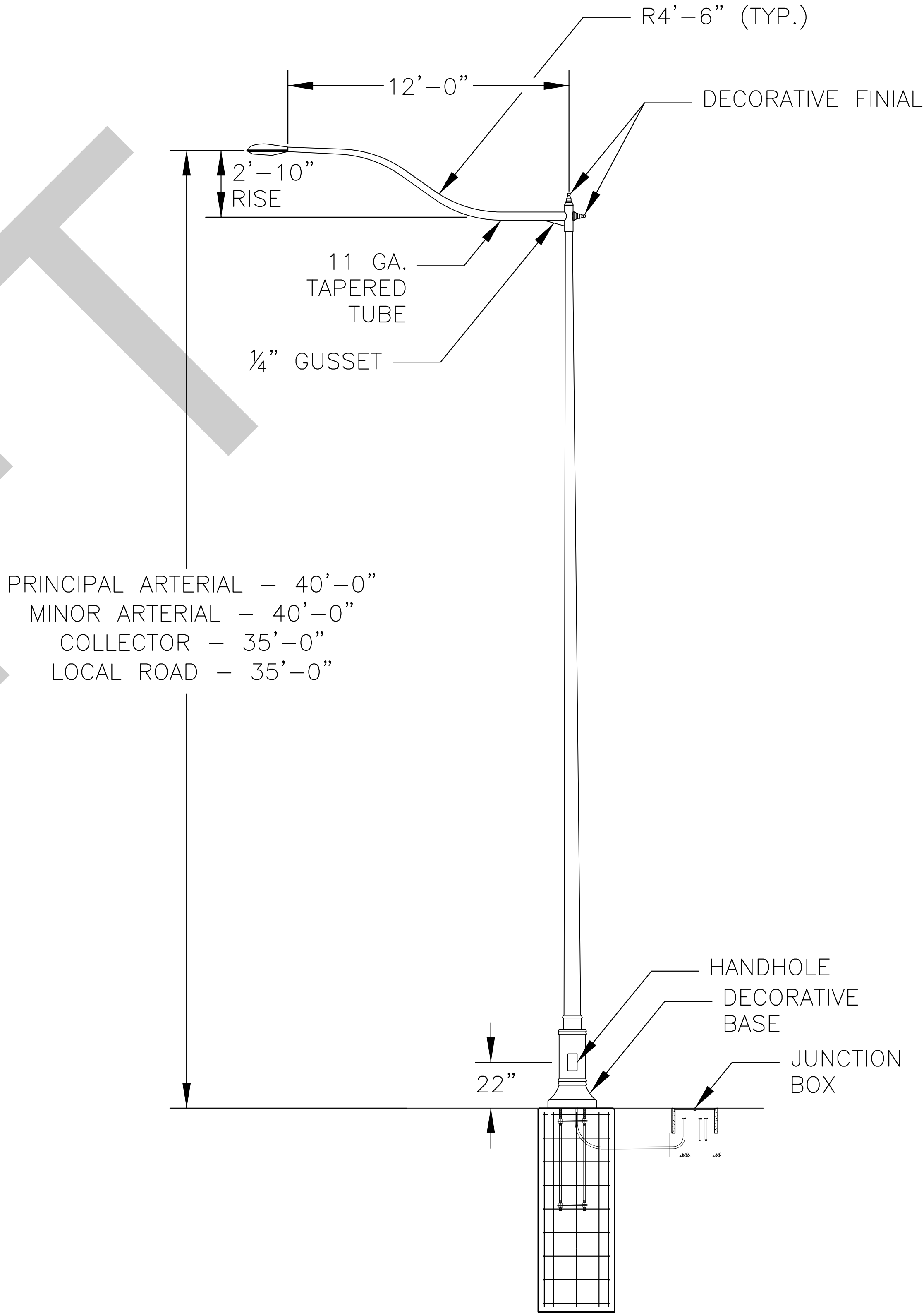
Scale: Not to Scale

Date: November 2014

NOTES:

- 1) WELD: ALL BUTT WELDS TO BE GROUND FLUSH WITH BASE METAL. WELDING OF STRUCTURES SHALL BE IN ACCORDANCE WITH THE CURRENT AASHTO "SPECIFICATIONS FOR STRUCTURAL SUPPORTS OF HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS".
- 2) ALL WIREWAYS SHALL BE DEBURRED, ROUNDED AND SMOOTH FOR WIRE PROTECTION PURPOSES.
- 3) AASHTO 2009 DESIGN PARAMETERS:
 - LOCATION: WASHINGTON STATE
 - BASIC WIND SPEED: 90 MPH
 - DESIGN LIFE: 50 YEARS RECURRENCE INTERVAL
- 4) DESIGN LIGHT LEVELS PER IESNA'S "AMERICAN NATIONAL STANDARD PRACTICE FOR ROADWAY LIGHTING" (RP-8-00).

ROADWAY LIGHTING STANDARD	
POLE, MAST ARM MANUFACTURER	NOV AMERON
POLE, MAST ARM, BASE COLOR	POWDER COAT BLACK (FS 27038)
POLE TYPE	HOT DIP GALVANIZED STEEL, ROUND, TOP O.D. 3 ½", BASE O.D. 8 1⅙"
BASE	DECORATIVE
LUMINAIRE HEAD	GE LIGHTING SYSTEMS, EVOLVE SCALABLE COBRAHEAD, ERS1, ERS2, ERS3, ERS4
	LEOTEK, GREENKINGCOBRA, GC2-90F, GC2-100F, GC2-120F
	CREE, XSP2-BXSPA23, XSP2L-BXSPA23
BULB	LIGHT-EMITTING DIODE (LED)
LUMINAIRE HEAD COLOR	BLACK
REQUIRED OPTIONS	BASE MUST HAVE HANDHOLE
FUSE CONNECTOR KIT	PER WSDOT QUALIFIED PRODUCTS LIST
FUSES	PER WSDOT QUALIFIED PRODUCTS LIST
UTILITY BOX	JUNCTION BOX PER WSDOT STANDARD PLAN J-40.10
POWER	TO BE PROVIDED BY DEVELOPER. 120V FOR DUPLEX RECEPTACLE, 240V FOR THE STREET LIGHT.
CONDUIT	MINIMUM O.D. 2"
WIRING	THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING WIRE THAT MEETS NEC STANDARDS. COPPER WIRE ONLY. PER WSDOT STANDARD PLAN J-28.70.
FOUNDATION	SLIP BASE PER WSDOT STANDARD PLAN J-28.30



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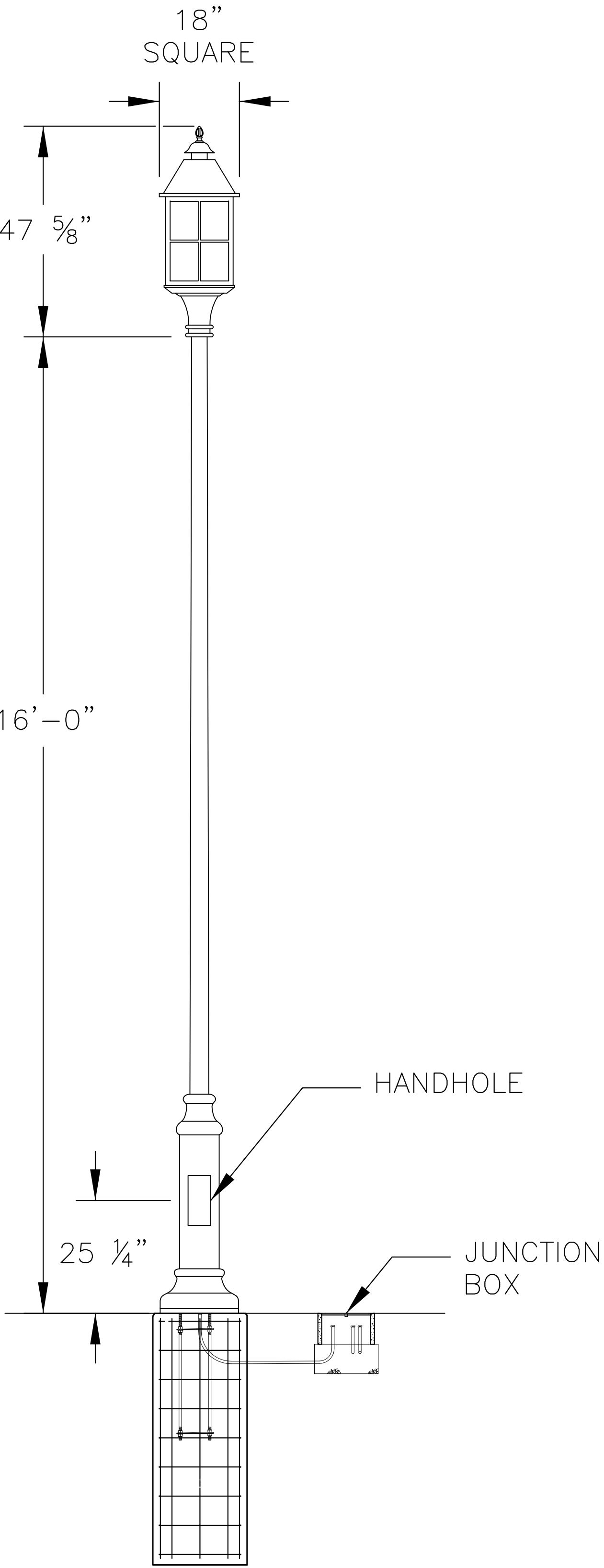
Roadway Lighting Standard

Standard Detail:	E1
Scale:	Not to Scale
Date:	November 2014

NOTES:

- 1) WELD: ALL BUTT WELDS TO BE GROUND FLUSH WITH BASE METAL. WELDING OF STRUCTURES SHALL BE IN ACCORDANCE WITH THE CURRENT AASHTO "SPECIFICATIONS FOR STRUCTURAL SUPPORTS OF HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS".
- 2) ALL WIREWAYS SHALL BE DEBURRED, ROUNDED AND SMOOTH FOR WIRE PROTECTION PURPOSES.
- 3) AASHTO 2009 DESIGN PARAMETERS:
 - LOCATION: WASHINGTON STATE
 - BASIC WIND SPEED: 90 MPH
 - DESIGN LIFE: 50 YEARS RECURRENCE INTERVAL
- 4) DESIGN LIGHT LEVELS PER IESNA'S "AMERICAN NATIONAL STANDARD PRACTICE FOR ROADWAY LIGHTING" (RP-8-00).

PEDESTRIAN LIGHTING STANDARD	
POLE, BASE MANUFACTURER	PHILLIPS LUMEC
POLE, BASE MODEL NUMBER	RA61F-16
POLE, BASE COLOR	TEXTURED BLACK (BKTX)
POLE, BASE TYPE	ALUMINUM, ROUND
LUMINAIRE HEAD	MODIFIED CHINATOWN SERIES – M2
LUMINAIRE HEAD MODEL NUMBER	ALMCHN-LE060/EVX/X4-YSDP-FBR-XX-CB
BULB	60 WATT LIGHT-EMITTING DIODE (LED)
LUMINAIRE HEAD COLOR	CLASSIC BLACK
REQUIRED OPTIONS	BASE MUST HAVE HANDHOLE
FUSE CONNECTOR KIT	PER WSDOT QUALIFIED PRODUCTS LIST
FUSES	PER WSDOT QUALIFIED PRODUCTS LIST
UTILITY BOX	JUNCTION BOX PER WSDOT STANDARD PLAN J-40.10
POWER	TO BE PROVIDED BY DEVELOPER. 120V FOR DUPLEX RECEPTACLE, 240V FOR THE STREET LIGHT.
CONDUIT	MINIMUM O.D. 2"
WIRING	THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING WIRE THAT MEETS NEC STANDARDS. COPPER WIRE ONLY. PER WSDOT STANDARD PLAN J-28.70.
FOUNDATION	SLIP BASE PER MANUFACTURER RECOMMENDATION



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Pedestrian Lighting Standard

Standard Detail:	E2
Scale:	Not to Scale
Date:	November 2014

17B.20.005 Required Improvement Tables. Revised 9/20

Tables 17B.20.005-1 and 17B.20.005-2 show the frontage and on-site roadway improvements required for commercial and residential type projects. Reference Title 18J PCC, Design Standards and Guidelines, for additional required improvements which may be specific to individual community plan areas. Additional improvements may also be warranted as a result of an approved traffic impact analysis.

Table 17B.20.005-1. Minimum Required Improvements for Commercial Projects												
Commercial Project Types (12)												
	New Commercial – Utility (11)		New Commercial (4)(6)		Land Division (includes Binding Site Plan with public/private roads) (3)(4)		Binding Site Plan (with shared access facility only) (4)		Expansion <60% of the building value as calculated in the IBC (4)		Site Development/ FPA (7)	
	Urban	Rural	Urban	Rural	Urban	Rural	Urban	Rural	Urban	Rural	Urban	Rural
Required Improvements on Public Arterial Frontage Road (1)(2)(9)												
Shoulder 6' min. width			Yes		Yes		Yes					
Buffer or Stormwater Facility (12) 5' min. width			Yes		Yes		Yes					
Sidewalk/Walkway 5' min. width			Yes	Yes (13)	Yes	Yes	Yes	Yes				
Street Trees (5)			Yes		Yes		Yes					
Required Improvements on Public Local Frontage Road (1)(2)(9)												
Sidewalk/Walkway 5' min. width			Yes	Yes (13)	Yes	Yes	Yes	Yes				
Street Trees (5)			Yes		Yes		Yes					
Required On-Site Improvements (9)												
Roads/Shared Access Facilities (10)					Yes	Yes	Yes	Yes				
Curb					Yes – traffic curb		Yes – traffic curb					
Sidewalk					Yes							
Street Trees (5)					Yes	Yes	Yes	Yes				
Street Lights					Yes							
Connectivity per Pierce County Road Standards			Yes	Yes	Yes	Yes	Yes	Yes				

Driveway Approach	Yes	Yes	Yes	Yes	(8)	(8)	(8)	(8)	Yes	Yes	Yes	Yes
Required Off-Site Improvements												
Per PCC 17B.20.030			Yes	Yes								
Per PCC 17B.20.040			Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		
Per PCC 17B.20.050			Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		

Notes:

- (1) Requirements for exterior sidewalk and pathway shall be waived by the Department whenever a transportation improvement project providing this infrastructure is included within Pierce County's Six Year Transportation Improvement Program and is fully funded.
- (2) Additional frontage improvements may be required as a result of a traffic impact analysis.
- (3) Land Division includes all land divisions in conformance with Title 18F PCC, Development Regulations – Land Divisions and Boundary Changes.
- (4) Traffic study required if more than 25 peak hour trips (PHT) will be generated by the development.
- (5) See specific street tree requirements within Title 18J PCC, Development Regulations – Design Standards and Guidelines.
- (6) New commercial includes: new commercial building permits; attached single family and multi family; use permits; expansion > 60 percent of the building value as calculated in the IBC; Mobile Home Parks. Other commercial uses may also apply.
- (7) Forest Practice Application (FPA). Haul route bond may be required.
- (8) Driveway approach required for shared access facilities, alley access and any lot proposed to have direct access to an existing public or private road.
- (9) Reference the Manual on Design Guidelines and Specifications for Road and Bridge Construction in Pierce County.
- (10) Legal and physical access must be provided to each proposed lot utilizing an appropriate county road or shared access standard.
- (11) Cell towers, water tank, and other utilities that require a building permit, but generate less than one ADT.
- (12) See also the Pierce County Stormwater Management and Site Development Manual.
- (13) See PCC 17B.20.008.

Table 17B.20.005-2. Minimum Required Improvements for Residential Projects											
Residential Project Types (13)											
	Detached Single Family/Dwelling Unit Planned Development District (4)(12)		Land Division > 2 lots (3)(4)(12)		Land Division < = 2 lots (3)(12)		Small Lot Subdivision (4)	Low Impact Subdivision (4)(8)		Single- and Two-Family Dwelling Units	
	Urban	Rural	Urban	Rural	Urban	Rural	Urban	Urban	Rural	Urban	Rural
Required Improvements on Public Arterial Frontage Road (1)(2)(7)											
Shoulder 6' min. width	Yes		Yes				Yes	Yes			
Buffer or Stormwater Facility (13) 5' min. width	Yes		Yes				Yes	Yes			
Sidewalk/Walkway 5' min. width	Yes		Yes				Yes	Yes			
Street Trees (5)	Yes		Yes				Yes	Yes			
Required Improvements on Public Local Frontage Road (1)(2)(7)											

Sidewalk/Walkway 5' min. width	Yes		Yes				Yes	Yes			
Street Trees (5)	Yes		Yes				Yes	Yes			
Required On-Site Improvements (7)(9)											
Local Roads/Shared Access Facility (12)	Yes	Yes	Yes	Yes	Yes	Yes					
Small Lot Roads							Yes				
LID Roads (8)								Yes	Yes		
Curb	Yes – Traffic curb (11)		Yes – Traffic curb (11)				Yes – Traffic curb (11)				
Sidewalk	Yes		Yes				Yes	Yes			
Street Trees (5)	Yes	Yes	Yes	Yes	(3)		Yes	Yes	Yes		
Street Lights	Yes		Yes				Yes	Yes			
Road Connectivity per P.C. Road Standards (12)	Yes	Yes	Yes	Yes			Yes	Yes	Yes		
Sidewalk Connectivity (12)	Yes		Yes				Yes	Yes			
Driveway Approach	(6)	(6)	(6)	(6)	(6)	(6)	(6)	(6)	(6)	Yes	Yes
Required Off-Site Improvements											
Per PCC 17B.20.040	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes		
Per PCC 17B.20.050	Yes	Yes	Yes	Yes			Yes	Yes	Yes		
Per PCC 17B.20.012 and 17B.20.014										Yes	Yes
Per PCC 17B.10.116										Yes	Yes

Notes:

- (1) Requirements for exterior sidewalk and pathway shall be waived by the Department whenever a transportation improvement project providing this infrastructure is included within Pierce County's Six Year Transportation Improvement Program and is fully funded.
- (2) Additional frontage and offsite improvements may be required as a result of a traffic impact analysis.
- (3) Land Division: includes all land divisions in conformance with Title 18F PCC for both public and private roads.
- (4) Traffic study required if more than 25 peak hour trips (PHT) will be generated by the development.
- (5) See specific street tree requirements within Title 18J PCC, Development Regulations – Design Standards and Guidelines.
- (6) Driveway approach required for shared access facilities, alley access, and any lot proposed to have direct access to an existing public or private road.
- (7) Reference the Manual on Design Guidelines and Specifications for Road and Bridge Construction in Pierce County.
- (8) Projects that intend to utilize low impact development techniques for managing stormwater runoff must utilize the design criteria contained in Volume VI of the Pierce County Stormwater Management and Site Development Manual (Title 17A). These criteria shall be utilized for the design of all private roads, alleys, or shared accesses within the project. Volume VI supersedes certain standards, criteria, and requirements contained in Title 17B. Standards, criteria, and requirements within Title 17B not specifically superseded by Volume VI are still applicable to low impact developments.
- (9) Legal and physical access must be provided to each proposed lot utilizing an appropriate road or shared access standard.
- (10) Detached single-family dwelling unit Planned Development Districts can be served by a shared access facility if the average

daily traffic (ADT) generated will be less than 60 ADT. Otherwise legal and physical access will need to be provided utilizing a County road standard.

(11) When the length of full height traffic curbing is reduced to short segments due to driveway spacing, rolled curbing may be used with prior County approval.

(12) Shared access facilities carry a maximum of 60 ADT. When shared access facilities are allowed, sidewalks, road connectivity, and sidewalk connectivity are not required.

(13) See also the Pierce County Stormwater Management and Site Development Manual.

(Ord. 2020-13 § 1, 2020; Ord. 2018-68s § 1 (part), 2018; Ord. 2017-28s § 4 (part), 2017; Ord. 2015-55s § 1 (part), 2015; Ord. 2012-2s § 3 (part), 2012; Ord. 2010-70s § 6 (part), 2010)



CITY OF EDGEWOOD STAFF REPORT PLANNING COMMISSION AGENDA ITEM

Date: February 8, 2021

Title: Sanitary Sewer Connection Requirement

Attachments: 1) LID Sewer Service Map
2) Sewer Service Area and Recent Projects Map

Submitted By: Darren Groth, CED Director
Jeremy Metzler, Public Works Director

Background:

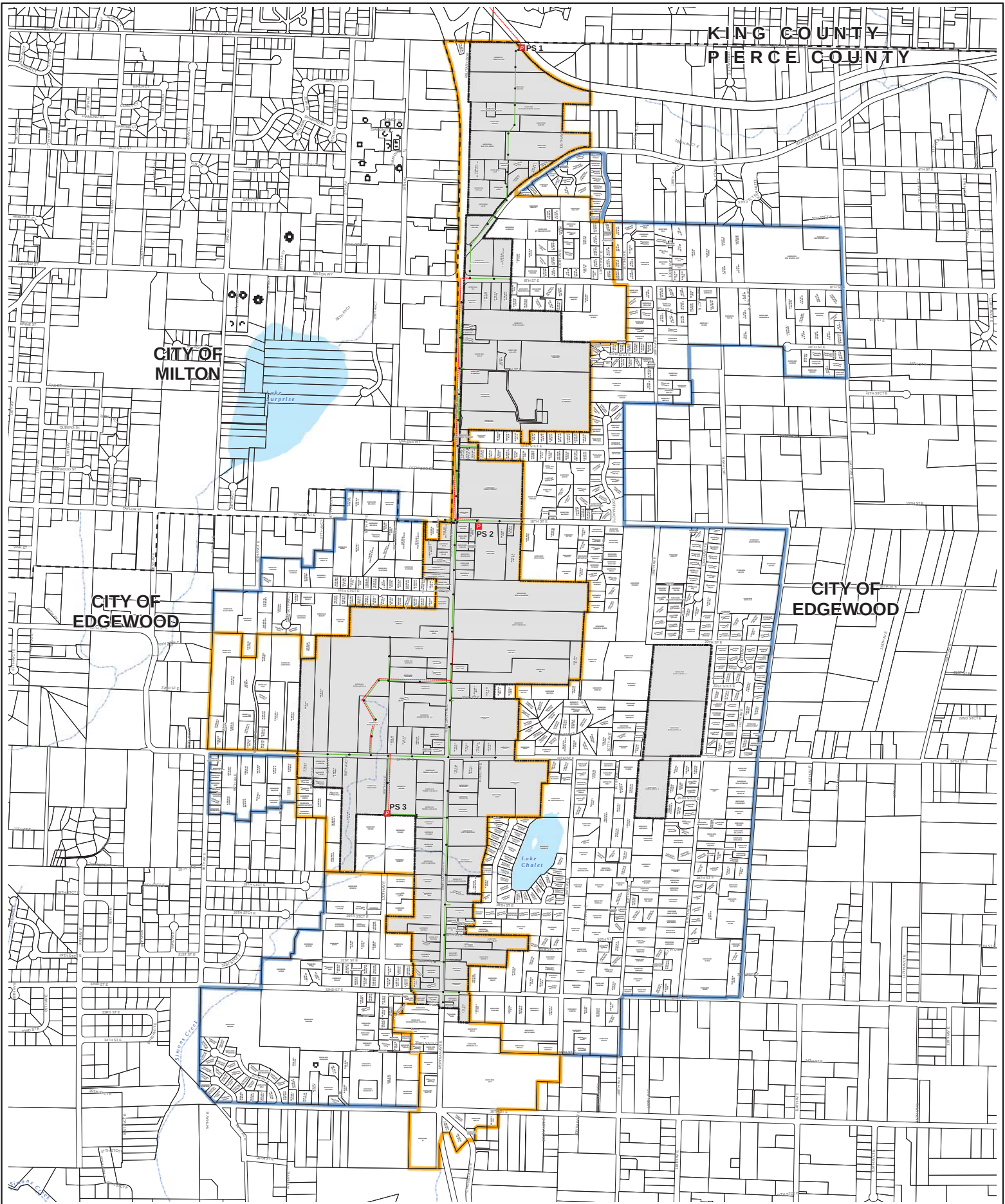
Requirement: All development within the City of Edgewood must provide an adequate sanitary waste disposal method. There are two methods to achieve compliance with this standard: 1) public sanitary sewer connection, or 2) a private on-site septic system. Currently, the geographic location of a proposed development greatly impacts the method that a developer can choose to utilize.

Sanitary Sewer: The City of Edgewood's Local Improvement District (LID) No. 1 provides sanitary sewer service to properties located on the Meridian corridor, where there is the most potential for high-density development opportunities. There is an established boundary for the LID, as well as boundaries for the planned future expansion of the sewer network - "Core I and Core II" (*see attachment 1*). These limitations make it impossible for property owners outside of Core I to extend sewer service to their property at this time. Additionally, sewer connection requirements for Phase 1 LID properties are outlined in Edgewood Municipal Code (EMC) 11.40.010. These requirements have been challenging to enforce thus far.

On-Site Septic: In the past several years, the City of Edgewood has experienced rapid growth and development. The majority of this development has occurred through single family residential projects (short and full subdivisions). These projects are typically found in areas of Edgewood where sanitary sewer is currently unavailable (*see attachment 2*). As a result, community and individual on-site septic systems (as regulated by the Tacoma Pierce County Health Department) are designed and built to serve the new homes. These systems are designed to only serve the proposed developments, and do not provide opportunities for adjacent development to upgrade older systems.

Discussion:

This item is included to have an initial discussion on sanitary sewer connection requirements. The Planning Commission may help to decide if any changes should be made related to sanitary sewer connection requirements in the future such as: geographic restrictions, density thresholds, and the general feasibility of septic systems.



**City of Edgewood - Meridian Avenue
Sewer Project LID No. 1
Project Map
January 2009**

Presented by:



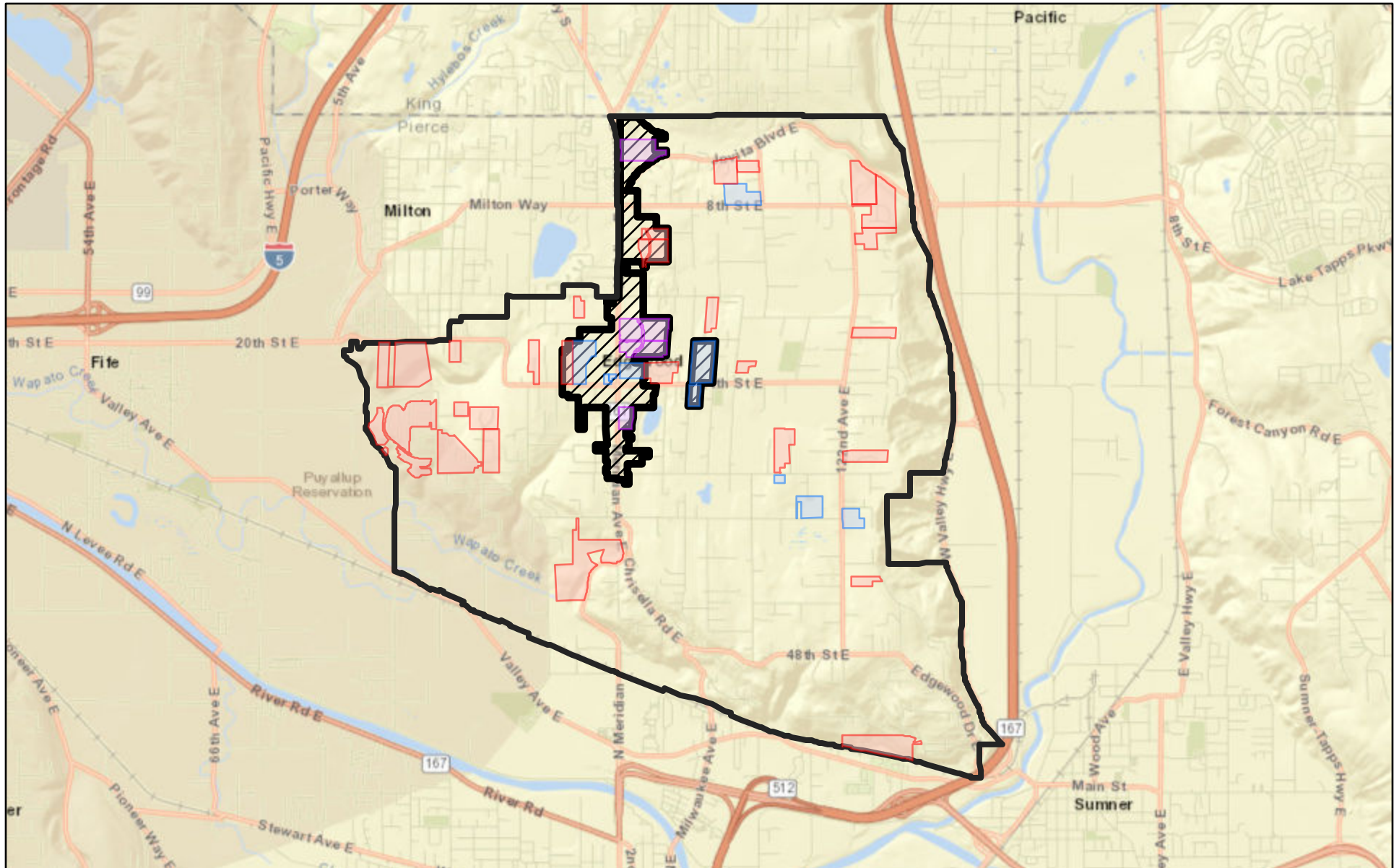
Legend

- LID Boundary
- Core I Boundary
- Core II Boundary
- City Limits
- Parcels
- Water Bodies
- Water Courses
- Pump Station
- Gravity Sewer Manholes
- Gravity Sewer Mains
- Force Mains



0 500 1,000 Feet

Edgewood LID Network Boundary



2/2/2021, 2:45:01 PM

Places

Apartment Complexes Neighborhoods

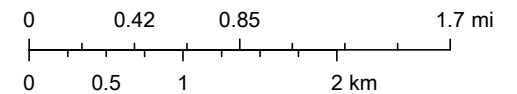


Civic Areas



LID Area

1:72,224



County of King, Bureau of Land Management, Esri, HERE, Garmin,

City of Edgewood

This map is provided as-is and with all faults for informational purposes only. The City of Edgewood assumes no liability for any errors, omissions, or inaccuracies, or for any decision or action made based on this information.



**CITY OF EDGEWOOD
STAFF REPORT
PLANNING COMMISSION AGENDA ITEM**

Date: February 8, 2021

Title: Street Light Standards

Attachments:

- 1) Planning Commission Recommendation and Discussion Timeline
- 2) Street Light Survey Results
- 3) Street Light Shields Diagram

Submitted By: Evan Hietpas, Associate Planner

Background:

At the December 9, 2019 Planning Commission meeting, this discussion item was added to the proposed 2020 Work Plan, with the goal of establishing more uniform policies regarding street light standards. From February 10, 2020 until July 13, 2020, the Planning Commission discussions included topics such as: uniformity, height, angle, shielding, color, and spacing of street lights. Additionally, a street light temperature survey was established in June of 2020, to garner public input.

- August 10, 2020- the Planning Commission re-engaged with the goal of sending a recommendation to City Council on September 14, 2020.
- September 14, 2020- the Planning Commission proposed one addition and one minor revision to the draft recommendation presented by City staff. The final recommendation (attachment 1) was reviewed by City Council, and the Planning Commission was tasked to continue the discussion on street light standards.
- October 2020- A street light temperature survey was established in to garner more public input.
- November 9, 2020- City staff outlined a proposed timeline (attachment 1) that included a proposed discussion meeting date, potential discussion topics, and anticipated final action for each of the seven Planning Commission recommendations.
- December 14, 2020 and January 11, 2021- Discussion was held on neighborhood compatibility and the City's utility goals.

Discussion:

Hold a focused discussion on the following Street Light Standards recommendations (see attachment 1):

- 3. Set a light temperature/color requirement for street light bulbs;
- 4. Require light shielding when light trespass may impact adjoining private property

Recommendation:

Determine the appropriate street lighting temperature and shielding standards.

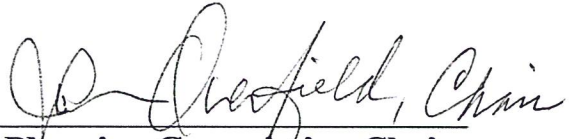


**CITY OF EDGEWOOD
PLANNING COMMISSION
RECOMMENDATION**

The Planning Commission feels that current street light standards are not adequate. In order to address the necessary changes, the Planning Commission voted 5-0 to recommend to City Council that the City take the following next steps germane to the City of Edgewood's Street Light Standards.

1. Ensure all lights are compatible with the surrounding neighborhood;
2. New street lights are installed consistent with the City of Edgewood's Comprehensive Plan (particularly Chapter 7);
3. Set a light temperature/color requirement for street light bulbs;
4. Require light shielding when light trespass may impact adjoining private property;
5. Require uniform aesthetic, height, and spacing standards;
6. Discontinue light installations on existing utility poles that do not comply with the new aesthetic standards;
7. Include the promotion of the upcoming street light survey in the Mayor's report to garner community input and participation.

**RECOMMENDED BY THE CITY OF EDGEWOOD PLANNING COMMISSION
ON THE 14TH DAY OF SEPTEMBER 2020.**


Planning Commission Chair

Attest by:



Evan Hietpas
Planning Technician

Street Light Standards Planning Commission Discussion Timeline

1. **Neighborhood compatibility-** *(December and January)*
 - Review existing street light standards and options (Meridian Corridor-vehicular lights, Single Family- pedestrian scaled lights)
 - Establish neighborhood boundaries (Zoning boundaries, Major and Minor Arterials, Single Family vs Multi Family, etc.)
 - Establish neighborhood identity (Urban, rural)
 - **Final Action (April)-** Recommend neighborhood boundaries, identities, and applicable street light standards
2. **Comprehensive Plan goals-** *(December and January)*
 - Review Comprehensive Plan goals, particularly outlined in Chapter 7
 - Ensure that all recommendations are based on goals
 - **Final Action (April) -** Provide proof that all street light standards recommendations are consistent with City's Comprehensive Plan.
3. **Street Light Temperature-** *(February)*
 - Review June and October survey results
 - Research and discuss benefits and disadvantages of different light temperatures
 - Research and discuss examples from other municipalities
 - **Final Action (April)-** Recommend standard street light temperatures
4. **Light shielding-** *(February)*
 - Research and discuss benefits and disadvantages of shielding
 - Research and discuss examples from other municipalities
 - Review shielding options provided by Puget Sound Energy
 - **Final Action (April)-** Recommend when and what type of shielding should be installed
5. **Uniformity (design, height, spacing)-** *(March)*
 - Research and discuss examples from other municipalities
 - Research and discuss best practices for street light height and spacing
 - Review design options provided by Puget Sound Energy
 - **Final Action (April)-** Recommend street light design, height, and spacing standards.
6. **Existing Utility Poles Installation-** *(March)*
 - Research and discuss examples from other municipalities
 - Research and discuss best practices
 - **Final Action (April)-** Recommend policy on installation of street lights on existing utility poles
7. **Mayor's Report for Public Survey-** Item #7 has been completed for the October Street Light Temperature Survey.

City of Edgewood Street Light Temperature Survey

Background:

Since February 10, 2020, the Planning Commission has been discussing street light standards. One specific was street light temperature. Puget Sound Energy (PSE) provides two light temperature options for new street lights, 3K and 4K. 3K bulbs illuminate a “warmer” light, and 4K bulbs illuminate a “cooler” light. On June 8, 2020, the Planning Commission and city staff developed a public survey to allow the community to identify their street light temperature preference. The results of this survey were discussed at the July 13, 2020 Planning Commission, and are included in this report. Following the June survey, the Planning Commission asked to continue the discussion on street light standards, and suggested that a second public survey be conducted in October when there is less daylight and a better opportunity for citizen participation. The Planning Commission also suggested additional methods to promote the survey. The October street light temperature public survey began on Tuesday October 13th and ended on Tuesday November 3rd. The results of this survey are included in this report.

Staff Analysis:

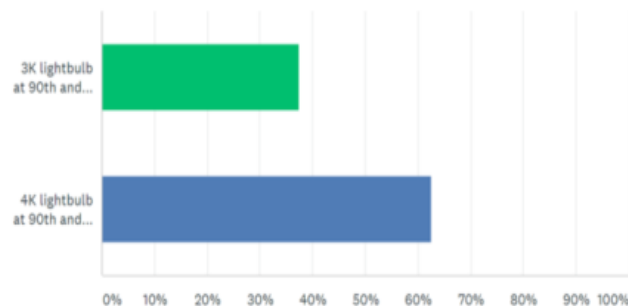
Survey Structure:

Two new street lights were installed; one at the intersection of 90th Ave and 33rd St, and the other at the intersection of 90th Ave and 34th St. A 3K light bulb was installed at 33rd St, and a 4K bulb was installed at 34th St. One question was asked:

- Which of the two street light fixtures do you prefer? *(You may consider the following criteria when answering this question: neighborhood compatibility, driver visibility, pedestrian visibility, aesthetics, livability, quality of light, safety, etc.)*
 - 1) 3K lightbulb at 90th and 33rd
 - 2) 4K lightbulb at 90th and 34th

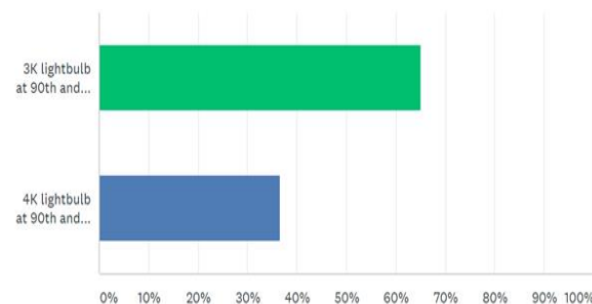
June 2020 Survey Results

A total of 24 people participated in the June survey. 9 people (37.5%) preferred the 3K lightbulb and 15 people (62.5%) preferred the 4K lightbulb.



October 2020 Survey Results

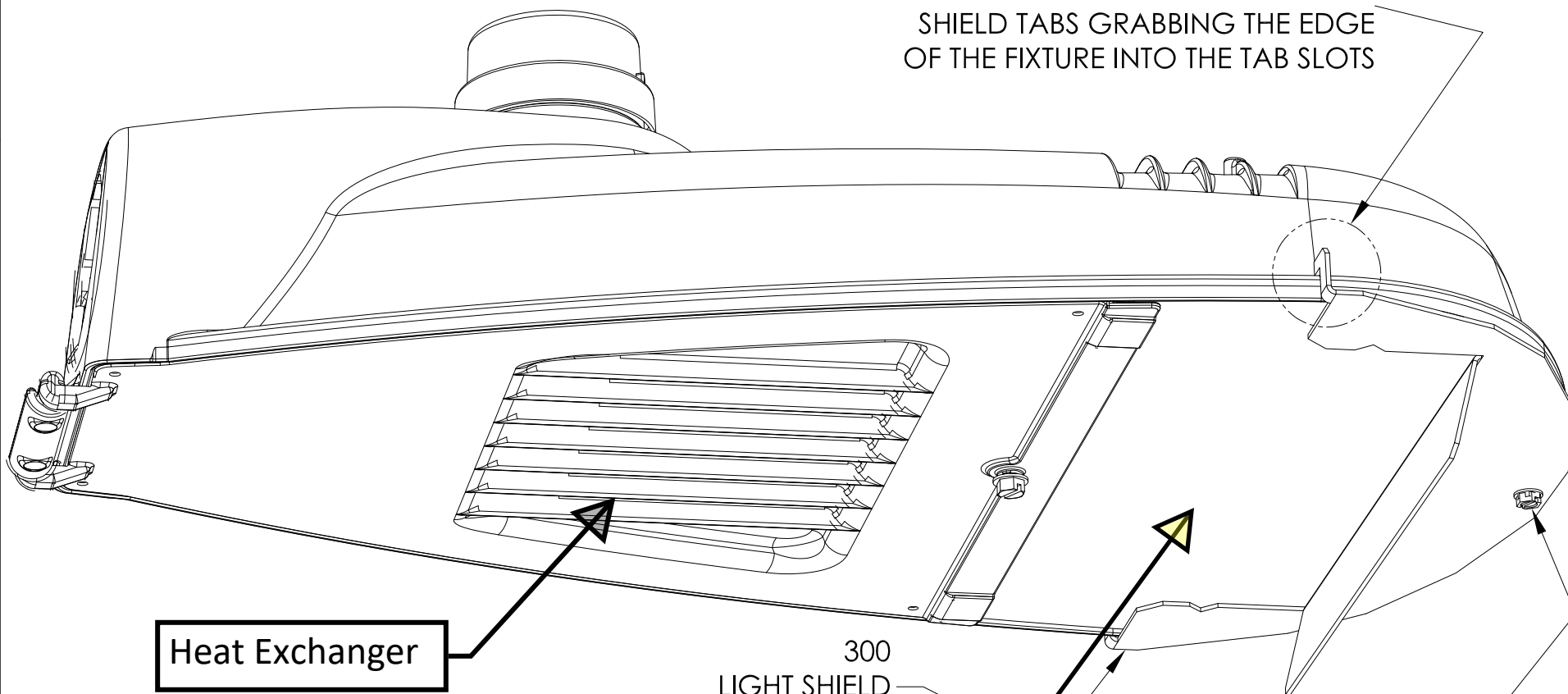
A total of 64 people participated in the October survey. 41 people (64.1%) preferred the 3K lightbulb and 23 people (35.9%) preferred the 4K bulb.



Street Shielding

STEP ①

SLIDE THE SHIELD FROM THE FRONT
OF THE FIXTURE AND WITH THE TWO
SHIELD TABS GRABBING THE EDGE
OF THE FIXTURE INTO THE TAB SLOTS



Heat Exchanger

300
LIGHT SHIELD
35-434440-02/03

Light Bulb

301
SCREW #10 x $\frac{3}{8}$ " LONG
35-211793-14

STEP ②

CAUTION:
SEAT SCREW TO 27-30 INCH-POUNDS.
DO NOT OVER TIGHTEN.

1. PLACE SCREWS (F/N 301)
AND INSTRUCTION SHEET (F/N 304)
IN BAG (F/N 303) AND USE TAPE (F/N 305) TO TAPE
TO THE SHIELD (F/N 300).

GE Lighting Solutions
GE PROPRIETARY

CURRENT	
REV NO.	PCO
04	KAL3818

LAST
FIND
NO.

TOLERANCES UNLESS OTHERWISE SPECIFIED	
DIMENSIONS	ANGLES
$\pm$	$\pm$
NOTES: ALL DIMENSIONS IN INCHES	
CTQ CRITICAL TO QUALITY	

PT.
NO.

DRAWING NO.

35- 434016

SHEET

2

CONT. ON

3

TITLE ERL1 STREET-SIDE LIGHT SHIELD (MONTREAL)

DRAWN BY
KEN LANE

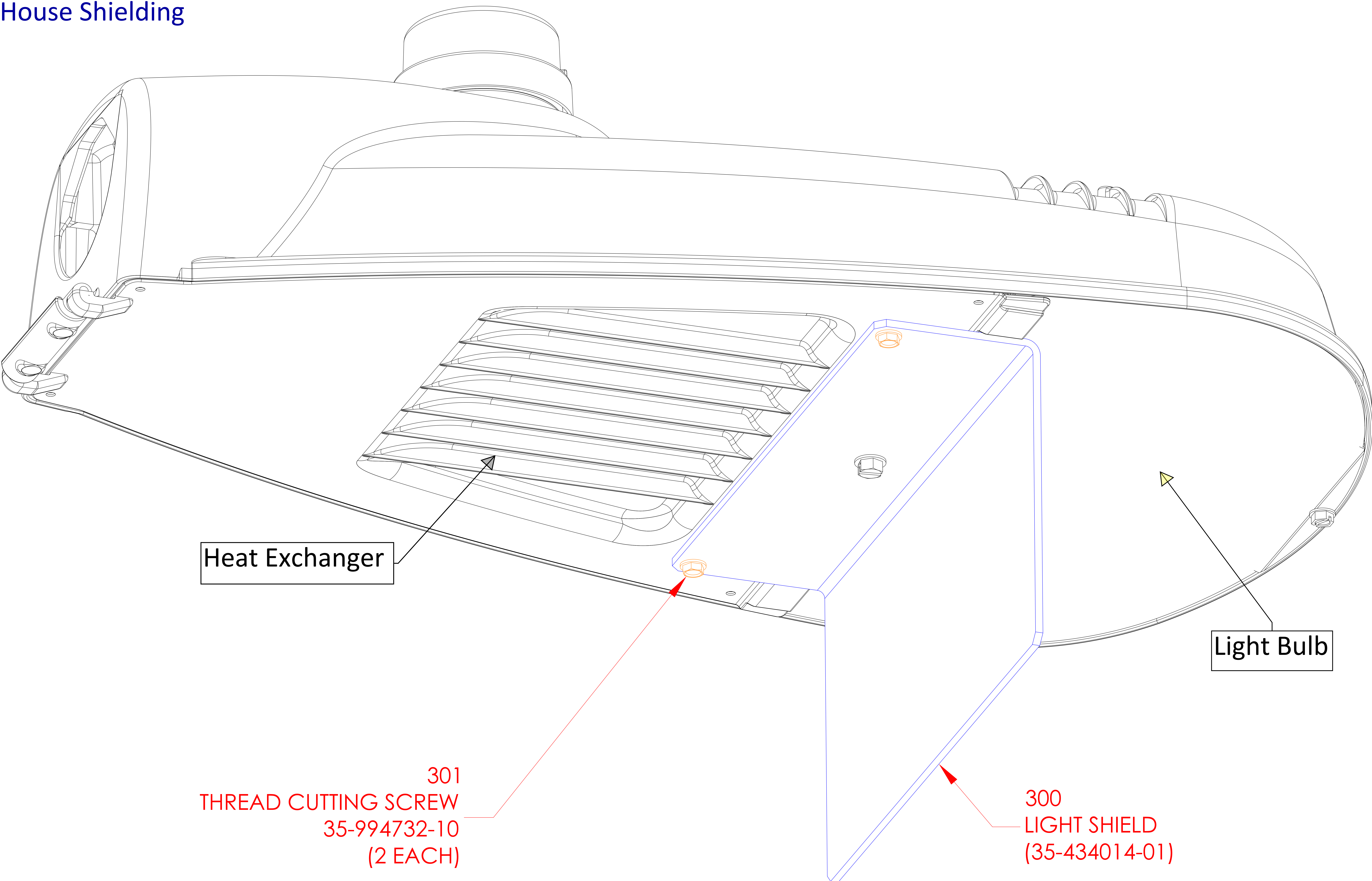
DATE

03/28/18

ISSUE DATE

09/19/18

House Shielding



Heat Exchanger

Light Bulb

301
THREAD CUTTING SCREW
35-994732-10
(2 EACH)

300
LIGHT SHIELD
(35-434014-01)

1. PLACE SCREWS (F/N 301)
AND INSTRUCTION SHEET (F/N 304)
IN BAG (F/N 303) AND USE TAPE (F/N 305) TO TAPE
TO THE SHIELD (F/N 300).

GE Lighting Solutions GE PROPRIETARY				PT. NO.				
CURRENT		LAST FIND NO.	TOLERANCES UNLESS OTHERWISE SPECIFIED		DRAWING NO. 35- 434016		SHEET 1	CONT. ON -
REV NO.	PCO		DIMENSIONS ±	ANGLES ±	TITLE ERL1 HOUSE SIDE LIGHT SHIELD			
01	KAL0715		NOTES: ALL DIMENSIONS IN INCHES CTQ CRITICAL TO QUALITY		DRAWN BY KEN LANE		DATE 10/31/14	ISSUE DATE 10/31/14



CITY OF EDGEWOOD STAFF REPORT PLANNING COMMISSION AGENDA ITEM

Date: February 8, 2021

Title: Tree Preservation Code Amendment

Attachments: 1) Draft Edgewood Municipal Code amendments

Submitted By: Evan Hietpas, Associate Planner

Background:

City Council requested that the Planning Commission discuss whether or not they would like to include Tree Preservation as a discussion item on their Work Plan.

- August 10, 2020- Commissioners discussed their concerns with Tree Preservation, and asked City staff to provide relevant Edgewood Municipal Code sections to help guide their discussion.
- September- October 2020- Commissioners discussed the definition of significant trees and tree replacement standards. Staff provided several examples of significant tree preservation standards from other municipalities.
- November 9, 2020- A draft of possible code modifications was prepared by city staff for discussion. Commissioners determined that there is a short term need to make code modifications to the tree preservation code, and a long term need to identify city-wide goals related to tree preservation.
- December 14, 2020- City staff requested time to address the public comments received related to the proposed code amendment, and to work through format changes to further improve EMC 18.90.180.
- January 11, 2021- Discussion was held on proposed code changes. Commissioners requested to have one final discussion on the proposed amendments at the February 8, 2021 meeting.

Discussion:

Since the December 14, 2020 Planning Commission meeting, City staff has reviewed the existing Tree Preservation Code and provided suggested amendments to the code section. The goal of the proposed staff amendments was to correct formatting errors and to provide clear direction to the public on tree preservation requirements, while also taking into account the Planning Commission's discussion over the past several months. The proposed code amendments pertain to the following topics:

Planning Commission Proposed Modifications

- Breast Height (DBH) measurement
- Definition of a significant tree
- "Significant" minimum diameter inches
- Hazardous tree criteria and removal allowance
- Tree replacement standards: native plantings, minimum diameter and height, etc.

City Planning Staff Additional Proposed Modifications

- Clear definitions for: Breast Height, Qualified Tree Professional, and Tree Diameter
- Minor textual amendments throughout EMC 18.90.180 incorporating uniform terminology
- Reformat of EMC 18.90.180 to ensure straightforward application of the tree preservation code
- Strong purpose statement containing ten (10) specific goals and objectives
- Tree preservation and protection standards for the "Core Four" zones along Meridian Corridor

Recommendation:

Provide final direction for proposed code amendments, shown in attachment 1, in preparation for the anticipated public hearing on March 8, 2021.

Draft of proposed code amendments pertaining to Significant Tree Preservation standards and requirements

EMC 18.90.180 Tree preservation.

A. Purpose. The purpose of this section is to establish the significant tree preservation requirements necessary when conducting any development action or land use development activity to protect the treed environment within the city of Edgewood, by regulating the removal of significant trees and providing incentives to preserve trees that, because of their size, species, or location, provide special benefits. Tree preservation protects and enhances critical areas, facilitates aquifer recharge, reduces erosion and stormwater runoff, and helps to define public and private open spaces. Existing residential development or single-family residences that comply with current EMC 18.80.040(C)(1) minimum and maximum densities are exempt from this section. Specifically, the regulations contained in this section are intended to accomplish the following ten (10) goals and objectives.

1. Promote the public health, safety and general welfare of the residents of Edgewood;
2. Implement the purposes of the State Growth Management Act relating to conservation of natural resources;
3. Support and implement the City of Edgewood's Comprehensive Plan, specifically the Natural Environment, Land Use, and Community Character elements;
4. Implement the goals of the State Environmental Policy Act (SEPA);
5. Improve the aesthetic quality of the built environment by reducing impacts on critical areas and the natural environment;
6. Minimize erosion, siltation, water pollution, and surface and ground water runoff by the preservation of significant trees;
7. Provide for the reasonable development of property, reasonable preservation or enhancement of property values, and for increases in privacy for residential sites;
8. Promote building and site planning practices that are consistent with the city's natural topography, soils, and vegetation features;
9. Provide an appropriate amount and quality of tree retention related to future land uses; and
10. Provide for increased areas of permeable surfaces that allow for infiltration of surface water into ground water resources, reduction in the quantity of storm water discharge, and improvement in the quality of storm water discharge.

B. Applicability. The preservation of certain Significant trees preservation shall be required for any development action or land use development activity permit.

1. The Tree Preservation requirements for tree preservation are applicable to all zoning districts and shall be provided in accordance with the requirements of each individual zoning district and the

provisions of this section. In the event a permit is not required for the establishment of a use, the standards of this section still apply.

2. Existing residential development or single-family residences that comply with current EMC 18.80.040(C)(1) minimum and maximum densities are exempt from this section.

B.C. Process. Significant tree preservation shall be required for any development action or land use development permit.

1. Tree Preservation Requirements. Any development or development activity shall retain and replace significant trees in accordance with the following requirements: A significant tree is an existing tree which:

- a. All significant trees within fifteen (15) feet of the lot perimeter or required buffer or setback, whichever is greater, shall be preserved.

- i. At the discretion of the community development director or designee, significant trees may be removed for required site access, buildings, sight areas, required roads, utilities, sidewalks, trails, or storm drainage improvements.

- ii. Any removed tree must be provided they are replaced in accordance with EMC Subsection 18.90.180.C.4 subsection (D) of this section. When measured at three feet above grade, has a minimum diameter of 15 inches for evergreen trees and deciduous trees;

- b. A percentage of all significant trees within the interior of a lot, exclusive of the significant trees already required to remain per EMC Subsection 18.90.180.C.1.a. above not including the perimeter area, shall be retained as required per the following standards. preserved within the applicable zoning district. Regardless of the tree diameter, is determined to be significant by the community development director or designee due to the uniqueness of the species.

- i. In Single-Family Residential zoning districts; Mixed Residential zoning districts; and Public zoning district new single family subdivision developments (excluding short subdivision (i.e., four lots or less), multifamily residential developments, and public/quasi-public institutional developments, 50 percent of the significant trees located within the interior landscaping area of the lot, or individual lots in the case of residential subdivisions, shall be retained.

- ii. In the commercial and industrial zoning district developments, 10 percent of the significant trees located within the interior landscaping area of the lot, or individual lots in the case of subdivisions, shall be retained.

- iii. In the Town Center; Commercial; Mixed Use Residential; and Business Park zoning districts, 10 percent of the significant trees located within the interior landscaping area of the lot, or individual lots in the case of subdivisions, shall be retained. In addition, EMC Subsection 18.80.080.G.8, Tree Preservation and Protection Standards applies to any development or development activity in these zones.

2. Tree Retention Plan. Required. A significant tree retention plan shall be submitted to the City community development department for any development action or development activity and use permit. The plans shall be submitted with the required project permit and shall be prepared in accordance with the requirements outlined in according to the requirements of the application form provided by the community development department. The community development director or designee shall review and may approve, approve with modifications, or disapprove a tree retention plan subject to the provisions of this Subsection. Trees will not be considered "significant" if, following inspection by a registered landscape architect, certified nursery

professional or certified arborist, and upon review and concurrence by the city, they are determined to be:

- a. Tree Survey. The tree retention plan shall include a tree survey that identifies all significant trees on the subject site. Safety hazards due to potential root, trunk or primary limb failure, or exposure of mature trees which have grown in a closed, forested situation.
 - i. The tree survey shall be performed by a Qualified Tree Professional.
 - ii. While sampling may be used to perform the overall tree inventory, the survey must show the location, number, size, height, species, and condition of each significant tree.
 - iii. If physical conditions do not warrant the identification of each significant tree, then the sampling results of the plot with the highest number of significant tree diameter inches shall be used as the representative sample.
 - iv. Inventory sampling shall be performed in accordance with the following plot to acre ratios.

Acres	Minimum # of plots
10 or less	3
11-20	6
21-40	10
41-150	15
>150	1 plot/10 acres

- b. Identification of Significant Trees.~~(C)~~ The tree retention plan shall also show the location, species, and dripline of identify each significant tree that is intended to qualify for retention credit, and identify the significant trees that are proposed to be retained, and those that are designated to be removed. Or requested to qualify for the Interior Significant Tree Retention Incentive. At the discretion of the city, damaged or standing dead trees may be retained and counted toward the significant tree requirement, if demonstrated that such trees will provide important wildlife habitat and are not classified as danger trees.
- c. Interior Significant Tree Retention Incentive.~~(D)~~ Each s Significant trees that isare retained and located outside of the perimeter area, as prescribed in EMC Subsection 18.90.180.F.1.a, and is retained may be credited as two trees for complying with the retention requirements above (1), provided it meets one or more of the following criteria: A significant tree permit is required for the removal of any significant tree or street tree as defined herein or trees removed pursuant to a tree retention plan unless specifically exempted within this section. All significant trees shall be preserved according to the following criteria:
 - i. (1) The tree exceeds 60 feet in height, or 24 inches in diameter for evergreen trees, or 30 inches in diameter for deciduous trees;
 - ii. (2) The tree is located in a grouping of at least five other significant trees with canopies that touch or overlap;
 - iii. (3) The tree provides energy savings, through wind protection or summer shading, as a result of its location relative to buildings;
 - iv. (4) The tree belongs to a unique or unusual species;
 - v. (5) The tree is located within 25 feet of any critical area or required critical area buffers;or
 - i. vi. (6) The tree is 18 inches in diameter or greater and is identified as providing valuable wildlife habitat. All significant trees within 15 feet of the lot perimeter or required buffer or setback, whichever is greater, shall be preserved. At the discretion of the community development director or designee, significant trees may be removed for access, buildings, sight areas, required roads, utilities, sidewalks, trails, or storm drainage improvements provided they are replaced in accordance with subsection (D) of this section. A

~~percentage of all significant trees within the interior of a lot, not including the perimeter area, shall be preserved within the applicable zoning district. In new single-family subdivision developments (excluding short subdivision (i.e., four lots or less), multifamily residential developments, and public/quasi-public institutional developments, 50 percent of the significant trees located within the interior landscaping area of the lot, or individual lots in the case of residential subdivisions, shall be retained. In commercial and industrial developments, 10 percent of the significant trees located within the interior landscaping area of the lot, or individual lots in the case of subdivisions, shall be retained.~~

d. ~~Tree Protection Techniques. (F)~~ The tree retention plan applicant shall demonstrate on the tree retention plan those tree protection techniques intended to be utilized and approved by the community development director or designee during land alteration and construction in order to provide for the continual healthy life of retained significant trees. The proposed tree protection techniques will be reviewed by the city to ensure compliance with the provisions of this section. Tree preservation criteria listed above shall exclude sensitive/critical areas and their buffers, and designated open space areas and tracts. All trees within such areas shall be retained except as may be specifically indicated in a discretionary land use permit or tree removal permit.

e. ~~(F)~~ If any significant tree that has been specifically designated to be retained in the tree preservation plan dies within three (3) years of the development of the site, then the significant tree shall be replaced at the following rates of five trees if the significant tree was in the perimeter landscape area and three trees if the significant tree was in the interior landscape area.

i. ~~State Environmental Policy Act Requirements. Additional or specific tree retention may be required as SEPA mitigation in addition to the requirements of this section.~~ Five-to-one (5:1) new trees per significant tree if the tree was located within the perimeter landscape area, as described in EMC Subsection 18.90.180.F.1.a.

ii. Three-to-one (3:1) new trees per significant tree if the tree was located within the interior of the lot.

3. Tree Protection Measures. Tree protection measures have been established to reduce the impacts of development action on existing significant trees. The protection measures are as follows:

a. ~~(B)~~ If a tree retention, and/or landscape plans, or both are required, no clearing shall be allowed on a site until approval of each such plans.

b. ~~(F)~~ An area free of disturbance, corresponding to the dripline of the significant tree's canopy shall be identified and protected during the construction stage with a temporary three-foot-high chain-link or plastic net fence. No impervious surfaces, fill, excavation, storage of construction materials, operations or parking of vehicles shall be permitted within the area defined by such fencing or stakes.

4. Tree Replacement. ~~When a~~ Any removed significant tree, subject to this section, ~~cannot be retained, the tree shall be replaced in accordance with the following standards as a condition for the removal of the significant tree.~~

a. Significant trees shall be replaced at a rate of 1.5 times to one (1.5:1) of the total tree diameter inches of all the significant trees were removed.

b. Replacement trees shall be no smaller than three (3) ~~two~~ inches DBH in diameter at three feet above grade.

c. Existing Preserved healthy and nonhazardous trees, which are not designated as at-risk on a tree risk assessment, between three (3) and twelve (12) inches in tree diameter, ~~which are retained to support the remaining significant trees can~~ may be counted ~~against~~ towards the on-

- site 1.5:1 replacement requirements by subtracting their respective DBH inches from the total replacement count.
- d. Replacement trees shall be native to Washington State and shall be classified as non-invasive species.
- e. Tree replacement plans shall be prepared by a Qualified Tree Professional.
- D. Determining Significant Trees.
- e.1. To be identified as a significant tree, an existing tree must meet a least one of the following criteria.
- i.a. When measured at breast height, must have a minimum diameter of twelve (12) inches;
- b. The community development director or designee designated the tree as significant due to any one of the following:
- i.the uniqueness of the tree species;
- ii. the tree is not a hazardous tree and provides important wildlife habitat; or
- iii. the tree's unique historical, ecological, or aesthetic value constitutes an important community resource.
- 2.Trees will not be considered "significant" if a tree risk assessment from a Qualified Tree Professional determines, and the community development director or designee reviews and concurs, that the tree is at risk due to a structural defect, combination of defects, or disease.
- a. Regardless of tree health, a tree may also be determined as a safety hazard in a tree risk assessment if the tree poses a threat to human health or may cause damage to a structure, roadway, or utility facility if toppled.
- b. Hazardous trees that are not considered significant may be removed following the review and concurrence of the tree risk assessment by the community development director or designee.
- c. To undertake a tree risk assessment, a Qualified Tree Professional must be tree risk assessment qualified (TRAQ), as established by the International Society of Arboriculture (ISA).
- E. Critical Areas Regulations.
- 1.All trees within a critical area, critical area buffer, or open space tract shall be retained.
2. Trees specifically indicated in a discretionary land use permit or tree removal permit may be exempted from the requirement to be retained, subject to the provisions of EMC Title 14 and Tree Replacement requirements.
- ii.F.State Environmental Policy Act Requirements. Additional or specific tree retention may be required as SEPA mitigation in addition to the requirements of this section.
- iii. Requirements. Any development action or land use permit shall identify, preserve, and replace significant trees in accordance with the following:
- (A) Submit a tree retention plan that consists of a tree survey that identifies the location, size and species of all significant trees on a site.
- (1) The tree survey may be conducted by a method that locates individual significant trees; or
- (2) Where site conditions prohibit physical survey of the property, standard timber cruising methods may be used to reflect general locations, numbers and groupings of significant trees.
- (B) If tree retention and/or landscape plans are required, no clearing shall be allowed on a site until approval of such plans.
- (C) The tree retention plan shall also show the location, species, and dripline of each significant tree that is intended to qualify for retention credit, and identify the significant trees that are proposed to be retained, and those that are designated to be removed.

~~(D) Each significant tree that is located outside of the perimeter area and is retained may be credited as two trees for complying with the retention requirements above, provided it meets one or more of the following criteria:~~

~~(1) The tree exceeds 60 feet in height, or 24 inches in diameter for evergreen trees, or 30 inches in diameter for deciduous trees;~~

~~(2) The tree is located in a grouping of at least five other significant trees with canopies that touch or overlap;~~

~~(3) The tree provides energy savings, through wind protection or summer shading, as a result of its location relative to buildings;~~

~~(4) The tree belongs to a unique or unusual species;~~

~~(5) The tree is located within 25 feet of any critical area or required critical area buffers; or~~

~~(6) The tree is 18 inches in diameter or greater and is identified as providing valuable wildlife habitat.~~

(E) In any required perimeter landscaping area as defined in this section, the applicant shall retain all significant trees, except as provided in this section.

~~(F) An area free of disturbance, corresponding to the dripline of the significant tree's canopy shall be identified and protected during the construction stage with a temporary three-foot high chain-link or plastic net fence. No impervious surfaces, fill, excavation, storage of construction materials, operations or parking of vehicles shall be permitted within the area defined by such fencing or stakes.~~

(G) At community development director or designee's sole discretion, a protective tree well may be required to be constructed if the grade level around the tree is to be raised or lowered. The inside diameter of the well shall be at least equal to the diameter of the tree spread dripline, plus at least five feet of additional diameter.

(H) The community development director or designee may approve use of tree protection techniques other than those listed above if the trees will be protected to an equal or greater degree than by the techniques listed above. Alternative techniques must be approved by a registered landscape architect, certified nursery professional or certified arborist, and reviewed and concurred by the city.

~~(I) The applicant shall demonstrate on the tree retention plan those tree protection techniques intended to be utilized and approved by the community development director or designee during land alteration and construction in order to provide for the continual healthy life of retained significant trees.~~

~~(J) If any significant tree that has been specifically designated to be retained in the tree preservation plan dies within three years of the development of the site, then the significant tree shall be replaced at the rate of five trees if the significant tree was in the perimeter landscape area and three trees if the significant tree was in the interior landscape area.~~

~~C.A. When a significant tree subject to this section cannot be retained, the tree shall be replaced in accordance with the following as a condition for the removal of the significant tree.~~

~~1. On Site Replacement.~~

- ~~a. Significant trees shall be replaced at a rate of 1.5 times to one of the total diameter inches of all the significant trees removed.~~
- ~~b.a. Replacement trees shall be no smaller than two inches in diameter at three feet above grade.~~
- ~~e.a. Existing healthy and nonhazardous trees between three and 12 inches in diameter, which are retained to support the remaining significant trees can be counted against the on-site replacement requirements.~~

~~D. Tree Retention Plan Required.~~

- ~~1. A significant tree retention plan shall be submitted to the community development department for any development action or land use permit. The plans shall be submitted according to the requirements of the application form provided by the community development department.~~
- ~~2.1. The community development director or designee shall review and may approve, approve with modifications, or disapprove a tree retention plan subject to the provisions of this section. (Ord. 20-578 § 1; Ord. 15-448 § 2 (Exh. A); Ord. 03-203 § 1).~~

EMC 18.20.050 B definitions

“Breast Height ” means fifty-four (54) inches above ground level, when pertaining to the measurement of tree diameter; also known as “diameter at breast height” (DBH).

EMC 18.20.200 Q definitions

“Qualified Tree Professional” means an individual with a minimum of three (3) years of experience in tree evaluation and meets at least one of the following qualifiers:

- A. American Society of Consulting Arborists (ASCA) registered consulting arborist;
- B. International Society of Arboriculture (ISA) board certified master arborist;
- C. International Society of Arboriculture (ISA) certified arborist with an associate degree and/or a minimum of two years of college-level credit and/or 120 continuing education units; or
- D. Washington State registered landscape architect.

EMC 18.20.220 S definitions

“Significant tree” means an existing tree that meets the criteria in EMC 18.90.180.D.1 which, when measured four feet above grade, has a minimum diameter of either:

- 1. Fifteen inches for evergreen and deciduous trees;
- 2. Trees determined to be significant by the community development director or designee, regardless of the tree diameter, due to the uniqueness of the species.

EMC 18.20.230 T definitions

“Tree Diameter” means the distance of a straight line segment through the center point of a tree when measured at breast height or 54 inches above ground level.

EMC 18.80.080.G.8.a. Town Center, Commercial, Mixed Use Residential, and Business Park Zoning Districts Tree Preservation and Protection Standards

G.8. Tree Preservation and Protection Standards.

- a. Significant tree identification and preservation and/or replacement shall be required as set forth in EMC 18.90.180, Tree preservation; ~~provided in~~ Mixed-use development shall be considered commercial development for the purposes of the tree preservation ~~retention~~ standard contained in EMC 18.90.180(C)(2)(c)(iv).



CITY OF EDGEWOOD STAFF REPORT PLANNING COMMISSION AGENDA ITEM

Date: February 8, 2021

Title: Sign Code Modification

Attachments: 1) Proposed Sign Code Amendments
2) Madrona Law Sign Code Article

Submitted By: Darren Groth, CED Department Director

Background:

On October 12, 2020, the Planning Commission was briefed by John Fairbanks, Code Compliance Specialist and Darren Groth, Community & Economic Development Director. John and Darren identified multiple instances of unclear language in the Edgewood Municipal Code (EMC) that could be addressed by making several code amendments. This particular agenda item focuses on two items of City of Edgewood's Sign Code. While additional amendments may be necessary in the future, as identified in the attached Madrona article, this agenda item is just focused on the two changes under the discussion.

Discussion:

This agenda item is intended to allow for discussion of possible changes to the Edgewood Municipal Code. The proposed sign code modifications pertain to two topics, outlined below:

1. Flag definition and exemption
 - Remove the current definition of "Flag"
 - Include specific criteria for flags in EMC 18.97.030- Exemptions (signs that are not subject to permitting, as long as they meet the standards set)
2. Feather sign definition and prohibition
 - Define "Feather sign"
 - Include Feather signs in EMC 18.97.040- Prohibited signs

Recommendation:

Review, discuss, and prioritize changes as needed in preparation of an anticipated March 8th public hearing.

EMC Sign Code Modification- Attachment 1

1. Flag definition and exemption- *potential revisions shown below*

EMC 18.20.090 F definitions.

~~"Flag" means any piece of cloth of individual size, color and design, used as a symbol, signal, emblem, or for decoration.~~

EMC 18.97.030 Exemptions.

~~F. Flags. Any flags; provided, that they conform to all provisions of this chapter for signs. The American flag, state of Washington flag, and other special purpose flags that are not intended to contribute to a commercial advertising display.~~

2. Feather sign definition and prohibition- *potential definition shown below*

EMC 18.20.090 F definitions.

"Feather sign" means a temporary and portable sign made of lightweight materials that is prone to move in the wind, and that contains a harpoon-style pole or staff that is driven into the ground or supported by means of an individual stand. This definition includes such signs of any shape including flutter, bow, teardrop, rectangular, shark, and U-shaped.

Will Your Local Sign Code Be Subjected to Strict Scrutiny Under the First Amendment?

By David Linehan (<https://www.madronalaw.com/post/sign-codes-and-the-first-amendment>)



In the five years since the United States Supreme Court applied the “strict scrutiny” standard to invalidate an Arizona city’s sign code because it imposed more severe limitations on signs containing certain kinds of messages than it did on others, some federal courts have continued to apply only “intermediate scrutiny” to regulations of commercial signs. A recent decision by the Sixth Circuit, however, calls all such cases into question, asserting that “strict scrutiny” must always be applied whenever a city adopts content-based distinctions in its sign code, regardless of whether the regulated speech is commercial or non-commercial.

In *International Outdoor, Inc. v. City of Troy*,^[1] a billboard company challenged a Michigan city’s sign code that imposed height, size, and setback requirements on signs generally, but made various exceptions for garage sale signs, real estate signs, political signs, seasonal and holiday signs, construction signs, and other “non-commercial” signs. The trial court ruled in the city’s favor, holding that the sign code’s height, square footage, and setback restrictions burdened commercial speech, and thus were subject

only to “intermediate scrutiny” under *Central Hudson*[2] rather than “strict scrutiny” under *Reed v. Town of Gilbert*. [3]



In the trial court’s view, although these types of restrictions were content-based because they treated non-commercial signs differently from the commercial billboards that the plaintiff was seeking to install, the restrictions were nevertheless permissible under the First Amendment because they met the intermediate scrutiny test—i.e., they were narrowly tailored to serve a substantial

governmental interest (traffic safety and visual aesthetics).

On appeal, the Sixth Circuit reversed. Relying on *Reed*, the Sixth Circuit noted that content-based restrictions are presumptively unconstitutional under the First Amendment and can be upheld only when they satisfy strict scrutiny—meaning that the government must prove that the restrictions are *the least restrictive means* of furthering a *compelling* government interest.

The court observed that a restriction on speech is “content-based” if it makes distinctions based on the content or subject matter of a sign. If one must examine the content of the sign to determine whether the restriction applies, then the regulation is content based. Thus, a sign code like Troy’s, which on its face imposed different restrictions based on the type of message conveyed, was subject to strict scrutiny regardless of the government’s motive in adopting it. Indeed, strict scrutiny applies to a sign regulation even if the government offers a benign, content-neutral justification that reflects no animus toward the speaker or the ideas expressed on the sign. This is because the First Amendment does more than simply protect differing points of view. A sign code violates the First Amendment if it singles out certain topics or subject matters for differential treatment, even if it does not discriminate against particular viewpoints within a topic or subject matter.

In ruling against the city, the Sixth Circuit surveyed several recent cases from other circuit courts (including the Second, Third, Ninth, and Tenth Circuits), all of which had recently applied the intermediate scrutiny standard of *Central Hudson* to content-based restrictions on commercial speech rather than the strict scrutiny standard of *Reed*. The Sixth Circuit was deeply critical of these decisions, some of which do not mention *Reed* or its principal holding at all. In the Sixth Circuit's view, the intermediate scrutiny standard of *Central Hudson* applies only when the regulation of commercial speech is content-neutral on its face; otherwise, strict scrutiny under *Reed* is the correct standard.



The Sixth Circuit bolstered its criticism of the Ninth Circuit and other appellate courts by pointing to a summer 2020 decision of the Supreme Court. In *Barr v. American Association of Political Consultants (AAPC)*,^[4] the Court held that a government debt-collection exception to a federal prohibition on robocalls constituted a content-based preference toward certain types of speech and that it failed the strict scrutiny test because it was not sufficiently narrowly tailored. The *AAPC* decision reaffirmed *Reed*'s holding that "content-based laws are subject to strict scrutiny."



Applying *Reed* and *Barr* to the City of Troy's sign code, the Sixth Circuit held that Troy's exemption of specific types of signs (flags, political signs, garage sales, etc.) from the height, size, and setback limits that apply to other signs, constituted a message-based restriction on both commercial and non-commercial speech to which strict scrutiny must be applied.

The appeals court vacated the judgment that had been entered in the city's favor, sending the case back to the trial court to apply the *Reed* test to determine whether the sign code survives strict scrutiny.

The *International Outdoor* case opens up a circuit split regarding the standard of review that applies to content-based sign code provisions, particularly when commercial signs are subjected to different permitting standards than non-commercial signs. Until this split is resolved, cities may wish to avoid subject-matter-based sign restrictions so that

any challenges to their sign codes will be evaluated under the more forgiving “intermediate scrutiny” standard.

Alternatively, cities could better prepare their sign codes to survive strict scrutiny by ensuring that any content-based restrictions reflect the least restrictive means of advancing a compelling government interest. This would entail an analysis of whether such restrictions are impermissibly underinclusive (i.e., they allow signs that undermine the stated government interest) or overinclusive (i.e., they prohibit more signs than are necessary).

If you have questions or concerns about your sign code, or other First Amendment topics, please feel free to contact David Linehan at David@MadronaLaw.com.

[1] *International Outdoor, Inc. v. City of Troy*, 974 F.3d 690 (2020).

[2] *Central Hudson Gas & Elec. v. Public Serv. Comm’n.*, 447 U.S. 557 (1980).

[3] *Reed v. Town of Gilbert*, 576 U.S. 155 (2015).

[4] 140 S. Ct. 2335 (2020).



**CITY OF EDGEWOOD
STAFF REPORT
PLANNING COMMISSION AGENDA ITEM**

Date: February 8, 2021

Title: 2021 Work Plan

Attachments: 1) 2021 Future Agenda Calendar

Submitted By: Evan Hietpas, Associate Planner

Discussion:

This agenda item is intended to allow the Planning Commission to discuss the formation of the 2021 Work Plan prior to the February 16, 2021 City Council meeting.

Proposed 2021 Work Plan Items:

1. Town Center;
2. Street Light Standards;
3. Development Standards and Public Works Standards;
4. Sewer Connection Requirements;
5. Tree Preservation (Code Update and Goals);
6. Public Zoning;
7. Create Edgewood Municipal Code Title 17– Land Development Code;
8. Code Updates from October 2020 meeting (Code Enforcement agenda item); and
9. Identify possible City-initiated Comprehensive Plan amendments

Proposed 2021 Objectives:

- Promote Diversity, Equity, and Inclusion in recommendations to City Council
- Collaborate with the Economic Development Advisory Board (EDAB)
- Increase Public Engagement Efforts

Recommendation:

Discuss the formation of the 2021 Work Plan in preparation for the February 16, 2021 meeting with City Council. Discuss the formation of the Planning Commission's Future Agendas Calendar (attachment 1).

Edgewood Planning Commision 2021 Future Agenda Calendar

Work Plan Items	11-Jan	8-Feb	8-Mar	12-Apr	10-May	14-Jun	12-Jul	9-Aug	13-Sep	11-Oct	8-Nov	13-Dec
Town Center (Evan, Emily and Darren)	Discussion	Discussion	Discussion	Action (Initial)	None	Discussion	Discussion	Discussion	Discussion	Discussion	Discussion	Discussion
Street Light Standards (Evan)	Discussion	Discussion	Discussion	PH and Action	None	None	None	None	None	None	None	None
Public Works Standards (Jeremy)	None	Discussion	Discussion	Discussion	PH and Action	None	None	None	None	None	None	None
Sewer Connection Reqs. (Darren and Jeremy)	None	Discussion	Discussion	Action (Initial)	None	None	Discussion	Discussion	Discussion	Discussion	PH and Action	None
Tree Preservation (Evan)	Discussion (Code)	Discussion (Code)	PH and Action (Code)	None	None	None	None	None	Discussion (Goals)	Discussion (Goals)	Discussion (Goals)	Discussion (Goals)
Public Zoning (Emily and Evan)	None	None	None	None	Discussion	Discussion	Discussion	Discussion	Action	None	Discussion	Discussion
Create EMC Title 17 (Emily)	None	None	None	None	None	Discussion	Discussion	Discussion	Discussion	Discussion	Discussion	PH and Action
Various Code Updates (Darren and Emily)	Discussion (Sign Code)	Discussion (Sign Code)	PH and Action (Code)	Discussion	Discussion	PH and Action	Discussion	Discussion	PH and Action	Discussion	Discussion	PH and Action
Comp. Plan Amendments and Rezones (Emily)	Discussion (2021)	None	PH and Action (Rezone 21-1061)	None	Discussion (City Comp. Plan Amendments)	None	None	None	None	None	Discussion (2022)	Discussion/ Action (2022)
2021 Work Plan	Discussion	Discussion	Discussion	Discussion	Discussion	Discussion	Discussion	Discussion	Discussion	Discussion	Discussion	Discussion
2022 Work Plan	None	None	None	None	None	None	None	None	None	None	Discussion	Discussion
Agenda Formation	January	February	March	April	May	June	July	August	September	October	November	December
Public Hearing (PH)	None	None	1. Tree Preservation 2. Sign Code Update 3. Rezone Application #21-1061: Prologis Park	1. Street Light Standards	1. Pubic Works Standards	1. Various Code Updates	None	None	1. Various Code Updates	None	1. Sewer Connection Requirements	None
Action	None	None	1. Tree Preservation 2. Sign Code Update 3. Rezone Application #21-1061: Prologis Park	1. Street Light Standards 2. Town Center 3. Sewer Connection Reqs.	2. Public Works Standards	1. Various Code Updates	None	None	1. Various Code Updates 2. Public Zoning	None	1. Sewer Connection Requirements	1. City Comp. Plan Amendments
Discussion	1. Town Center 2. Street Light Standards 3. Tree Preservation Code 4. Sign Code Minor Update 5. City Comp. Plan Amend. 6. 2021 Work Plan	1. Town Center 2. Street Light Standards 3. Public Works Standards 4. Sewer Connection Reqs. 5. Tree Preservation Code 6. Sign Code Update 7. 2021 Work Plan	1. Town Center 2. Street Light Standards 3. Public Works Standards 4. Sewer Connection Reqs. 5. 2021 Work Plan	1. Public Works Standards 2. Various Code Updates 3. 2021 Work Plan	1. Public Zoning 2. Various Code Updates 3. Comp. Plan Amend. 4. 2021 Work Plan	1. Town Center 2. Public Zoning 3. EMC Title 17 4. 2021 Work Plan	1. Town Center 2. Sewer Connection Req. 3. Public Zoning 4. EMC Title 17 5. Various Code Updates 6. 2021 Work Plan	1. Town Center 2. Sewer Connection Req. 3. Public Zoning 4. EMC Title 17 5. Various Code Updates 6. 2021 Work Plan	1. Town Center 2. Sewer Connection Reqs. 3. Tree Preservation Goals 4. EMC Title 17 5 City Comp. Plan Amend. 6. 2021 Work Plan	1. Town Center 2. Sewer Connection Reqs. 3. Tree Preservation Goals 4. EMC Title 17 5. Various Code Updates 6. 2021 Work Plan	1. Town Center 2. Tree Preservation Goals 3. Public Zoning 4. EMC Title 17 5. Varius Code Updates 3. City Comp. Plan Amend. 4. 2022 Work Plan 5. 2021 Work Plan	1. Town Center 2. Public Zoning 2. 2022 Work Plan 3. 2021 Work Plan

This calendar is for planning purposes only. Please check with staff should you have any questions.